

HISTORIC AND DESIGN REVIEW COMMISSION

December 07, 2022

HDRC CASE NO: 2022-542
ADDRESS: 315 FLORIDA ST
LEGAL DESCRIPTION: NCB 3007 BLK 5 LOT 13
ZONING: R-6, H
CITY COUNCIL DIST.: 1
DISTRICT: Lavaca Historic District
APPLICANT: Daniel Vela/VDF PROPERTIES LLC
OWNER: VDF PROPERTIES LLC
TYPE OF WORK: Partial demolition of the primary structure, addition to the primary structure
APPLICATION RECEIVED: October 26, 2022
60-DAY REVIEW: Not Applicable due to City Council Emergency Orders
CASE MANAGER: Jessica Anderson

REQUEST:

The applicant requests a Certificate of Appropriateness to:

1. Demolish a small rear addition.
2. Partially demolish a c. 1955 rear chimney.
3. Construct a small water heater closet at the rear of the house.
4. Construct a rear porch under an extended roof form.
5. Replace the composition shingle roof with a standing-seam metal roof.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Exterior Maintenance and Alterations

3. Materials: Roofs

A. MAINTENANCE (PRESERVATION)

- i. *Regular maintenance and cleaning*—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Roof replacement*—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.
- ii. *Roof form*—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.
- iii. *Roof features*—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.
- iv. *Materials: sloped roofs*—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.
- v. *Materials: flat roofs*—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.
- vi. *Materials: metal roofs*—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.
- vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. *Minimize visual impact*—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. *Historic context*—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. *Similar roof form*—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. *Transitions between old and new*—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. *Subordinate to principal facade*—Design residential additions, including porches and balconies, to be subordinate to the principal façade of the original structure in terms of their scale and mass.
- ii. *Rooftop additions*—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. *Dormers*—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. *Footprint*—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. *Height*—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. *Complementary materials*—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. *Metal roofs*—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alternations and Maintenance section for additional specifications regarding metal roofs.
- iii. *Other roofing materials*—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. *Imitation or synthetic materials*—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- ii. *Salvage*—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. *Historic context*—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.

- ii. *Architectural details*—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.
- iii. *Contemporary interpretations*—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

FINDINGS:

- i. The house at 315 Florida is a one-story single-family Craftsman-style residence built c. 1910 with an addition to the northeast corner built between 1951 and 1955 and an addition to the northwest corner built by 1983. There is another small addition to the c. 1955 addition that staff was unable to date. The historic core of the house has a pyramidal roof with dormer on the primary (south) elevation. The c. 1955 addition causes the roof form to become cross-gabled, and the c. 1983 addition has a flat roof. The pitched roofs are clad in composition shingle. The c. 1955 addition has a rear-facing chimney stack. Windows are one-over-one sash windows, with one sliding window on the c. 1983 addition. The house is clad in vinyl siding and features an inset front porch with chamfered square columns. The house contributes to the Lavaca historic district.
- ii. **DEMOLITION (REAR ADDITION):** The applicant proposes to demolish a small addition to the rear of the c. 1955 addition. Because the phase proposed for demolition is not original to the historic core of the home, staff finds the request conforms to guidelines.
- iii. **PARTIAL DEMOLITION (CHIMNEY):** The applicant proposes to demolish the c. 1955 rear chimney. Because the chimney proposed for demolition is not original to the historic core of the home, staff finds the request conforms to guidelines. The chimney nearest the front of the house must be retained.
- iv. **ADDITION (WATER HEATER CLOSET):** The applicant proposes construction of a small water heater closet on the back of the house. Historic Design Guidelines for Additions 3.A.i says any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure. While staff finds the addition generally appropriate, the use of vinyl siding does not conform to guidelines. Historic Design Guidelines for Additions 3.B.i discourages the use of imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.
- v. **ADDITION (REAR PORCH):** The applicant proposes the addition of an approximately 31'x11' covered rear porch, which involves demolishing the existing roof forms and extending the pyramidal roof shape to the rear of the house to create a long hipped roof form. Historic Design Guidelines for Exterior Maintenance and Alterations 3.B.ii states that the original shape, line, pitch, and overhang of historic roofs should be preserved. While the addition of a rear covered patio generally appropriate, staff finds the change in roof form does not conform to guidelines. A shed-roofed porch roof inset at the west side from the historic roof form would be more appropriate.
- vi. **ROOFING (MATERIALS):** The applicant proposes to replace the existing composition shingle roof with a standing-seam metal roof. Historic Design Guidelines for Exterior Maintenance and Alterations 3.B.vi says to use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Staff finds that a metal roof conforms to guidelines.

RECOMMENDATION:

Staff recommends approval of items 1 and 2 based on findings b and c, with the following stipulation:

- i. That the chimney nearest the front of the house be retained.

Staff recommends approval of item 3, construction of a small water heater closet at the rear of the house, based on finding d, with the following stipulation:

- i. That the applicant proposes wood cladding or Hardi board with a smooth finish that mimics the appearance of painted wood instead of vinyl siding.

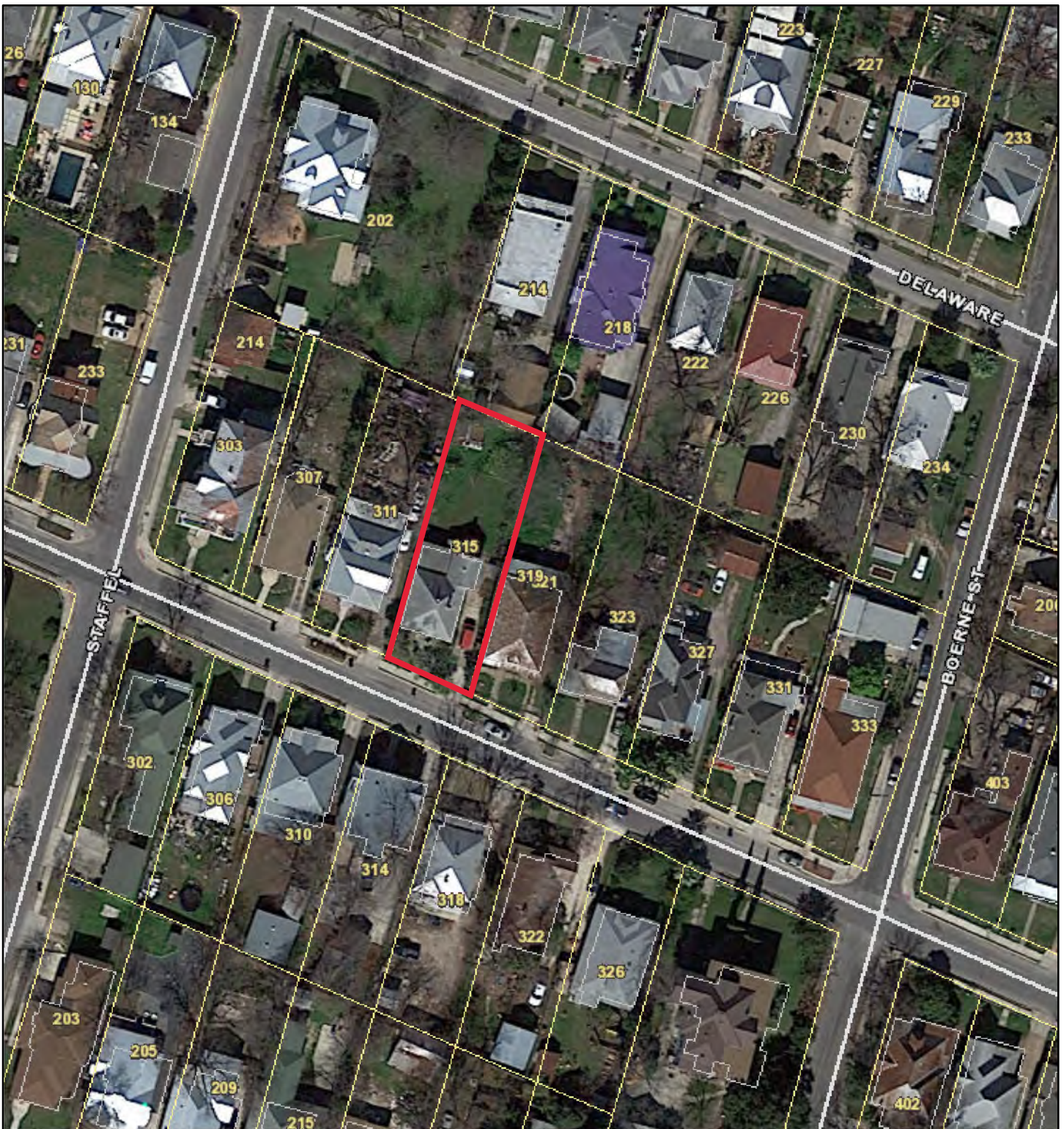
Staff recommends approval of item 4, construction of a rear porch under an extended roof form, based on finding e, with the following stipulation:

- i. That the applicant proposes a roof form that retains the original shape, line, pitch, and overhang of the historic roof, such as a shed roof that is inset from the historic roof form.

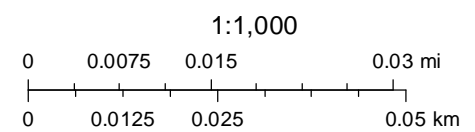
Staff recommends approval of item 5, replacing the composition shingle roof with a standing-seam metal roof, based on finding f, with the following stipulation:

- i. That the chimney nearest the front of the house be retained.

City of San Antonio One Stop



November 30, 2022



PERMIT SET

VELA - DEL FIERRO

315 FLORIDA STREET
SAN ANTONIO, TX 78210

PERMIT SET

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VELA - DEL FIERRO
RESIDENCE
315 FLORIDA STREET
SAN ANTONIO, TEXAS 78210

COVER SHEET	
PROJECT NO:	VELA-DEL FIERRO 2021-OFDS
EXPIRATION DATE:	08/2023
DRAWN/ CHECKED BY:	NC/OF

A-1
SHEET: 1 OF 10
PERMIT SET

2021 INTERNATIONAL ENERGY CONSERVATION CODE TABLE R402.4.1.1 AIR BARRIER & INSULATION INSTALLATION		
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL.
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS & HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE, R-VALUE, OF NO LESS THAN R-3 PER INCH. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT & CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	—
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING. ALTERNATIVELY, FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT WITH THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING; AND SHALL EXTEND FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPED.	CRAWL SPACE INSULATION, WHERE PROVIDED INSTEAD OF FLOOR INSULATION, SHALL BE PERMANENTLY ATTACHED TO THE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFT, UTILITY PENETRATIONS, AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	—
NARROW CAVITIES	—	BATTS TO BE INSTALLED IN NARROW CAVITIES SHALL BE CUT TO FIT OR NARROW CAVITIES SHALL BE FILLED WITH INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	—
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE FINISHED SURFACE.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING	—	IN EXTERIOR WALLS, BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING, OR INSULATION THAT ON INSTALLATION READILY CONFORMS AVAILABLE SPACE, SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALL	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THE WALL FROM THE SHOWER AND TUB.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL AND COMMUNICATION BOXES. ALTERNATIVELY, AIR-SEALED BOXES SHALL BE INSTALLED.	—
HVAC REGISTER BOOTS	HVAC SUPPLY AND RETURN REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR, WALL COVERING OR CEILING PENETRATED BY THE BOOT.	—
CONCEALED SPRINKLERS	WHERE REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	—

ELECTRICAL SYMBOLS	
	110/120v DUPLEX OUTLETS
	110/120v FLOOR OUTLET
	110/120v CEILING OUTLET
	110/120v GFI OUTLET
	110/120v HIDDEN OUTLET
	110/120v FOURPLEX OUTLET
	DUPLEX SPLITWIRE (SWITCHED) OUTLET
	220/240v OUTLET
	WEATHERPROOF OUTLET
	WEATHERPROOF GFI OUTLET
	JUNCTION BOX
	WALL SWITCH MNT'D. 3P° A.F.F. U.N.O.
	3-WAY WALL SWITCH
	DIMMER SWITCH
	CEILING FAN MOTOR CONTROL
	DOORBELL
	GARAGE DOOR OPENER
	CHIMES
	STEP LITE
	TELEPHONE OUTLET
	TELEVISION OUTLET
	SPEAKER
	SAT. TELEVISION OUTLET
	FLOOD LITES
	CEILING MOUNTED FIXTURE
	RECESS LITE
	RECESSED LITE (WTR. PROOF)
	RECESS WALL WASHER (EYEBALL)
	HEAT/VENT/LITE
	EXHAUST FAN/VENT
	SMOKE / CARBON MONOXIDE DETECTOR
	UNDER COUNTER/COVE LITES
	WALL SCONCES
	PENDANT LITE
	CHANDLER
	MIRROR LITE
	FLOURESCENT LITE
	CEILING FAN
	CEILING FAN w/ LITE

MECHANICAL & PLUMBING SYMBOLS	
	RETURN AIR GRILLE
	WALL SUPPLY REGISTER
	SQUARE SUPPLY REGISTER
	VERTICAL AIR RETURN CHASE
	VERTICAL AIR SUPPLY CHASE
	HOSE BIB
	GAS SUPPLY
	WATER SOFTENER
	HOT WATER HEATER
	GAS CONTROL VALVE
	COLD WATER SUPPLY
	WASHER WATER SUPPLY
	BATHTUB
	TOILET
	LAVATORY W/ FAUCETS

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2021 INTERNATIONAL RESIDENTIAL CODE	
IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO MEET ALL 2021 INTERNATIONAL RESIDENTIAL CODE, UNIFIED DEVELOPMENT CODE, AND CHAPTER 10-BUILDING RELATED CODES.	
ALL CONSTRUCTION TO CONFORM WITH CHAPTER 3 BUILDING PLANNING, ALL STRUCTURAL AND FRAMING AS PER SECTION R301 DESIGN CRITERIA REFER TO R301.2.1 FOR WIND DESIGN CRITERIA.	
ALL WOOD SILL PLATES AND WOOD WALLS SUPPORTED DIRECTLY ON CONTINUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION PER SECTION R403.1.6 FOUNDATION ANCHORAGE.	
PROTECTION OF WOOD AND WOOD-BASED PRODUCTS AGAINST DECAY SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AFWA U1 REFER TO SECTION R317.	
WOOD WALL FRAMING PER SECTION R602.	
REFER TO TABLE R602.3(1) FOR FASTENING SCHEDULE.	
REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR FOUNDATION, STEEL, FRAMING, BRACING PLANS, SPECS & DETAILS. STRUCTURAL ENGINEER'S DETAILS TO CONFORM WITH 2018 IRC.	
BUILDINGS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 WALL BRACING.	
EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL BE IN ACCORDANCE WITH SECTION R310.	
DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH SECTION R311.	
ALL STAIR TREADS AND RISERS TO MEET REQUIREMENTS IN SECTION R311.7.5.	
THE RISER HEIGHT SHALL NOT BE MORE THAN 7 3/4" REFER TO R311.7.5.1 RISERS.	
THE TREAD DEPTH SHALL NOT BE LESS THAN 10" REFER TO R311.7.5.2 TREADS.	
HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH FOUR OR MORE RISERS PER SECTION R311.7.8 HANDRAILS.	
HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38" IN HEIGHT PER SECTION R311.7.8.1 HEIGHT.	
GUARDS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.1.1 THROUGH R312.1.4.	
EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE AS PER SECTION R703 EXTERIOR COVERING.	
APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE FASHION IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS AS PER SECTION R703.4 FLASHING.	
INSTALLATION OF WOOD, HARDWOOD OR WOOD STRUCTURAL SIDING TO BE PER SECTION R703.5.	
INSTALLATION OF EXTERIOR PLASTER SHALL BE IN COMPLIANCE WITH ASTM C926, ASTM C1063 AND THE PROVISIONS OF THIS CODE. SEE SECTION R703.7 EXTERIOR PLASTER (STUCCO).	
ANCHORED STONE AND MASONRY VENEER SHALL BE IN ACCORDANCE TO SECTION R703.8.	

GENERAL PROJECT NOTES		
1. THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO MEET ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR TO COMPLY WITH ALL LOCAL CODES, ORDINANCES AND DEED RESTRICTIONS. CONTRACTOR SHALL ALSO REQUIRE ALL SUB-CONTRACTORS TO COMPLY WITH THESE REGULATIONS.	17. THE CONTRACTOR IS TO FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS AND CERTIFICATES OF COMPLIANCE AS REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THAT ALL PERMITS NECESSARY TO COMPLETELY PERFORM THE WORK HAVE BEEN OBTAINED PRIOR TO COMMENCING CONSTRUCTION.	39. CHIMNEY CAP TO BE BUILT WITH NON-COMBUSTIBLE MATERIALS.
2. ANY DISCREPANCIES IN CONSTRUCTION DOCUMENTS OR NON-COMPLIANCE TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO ANY WORK BEING PERFORMED OR MATERIALS BEING ORDERED.	18. VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START.	40. LAVATORIES AND SINKS SHOWN ARE NOT ACTUAL FIXTURE. CHECK WITH BUILDER/DESIGNER/OWNER FOR ACTUAL FIXTURE STYLE AND SIZE.
3. BUILDER ACCEPTS FULL RESPONSIBILITY FOR CHECKING PLANS TO ASSURE CONFORMITY TO CURRENT LOCAL BUILDING CODES. SHOULD ANY CHANGES BE MADE TO THESE PLANS BY BUILDER OR HIS REPRESENTATIVES WITHOUT CONTACTING THE DESIGNER, THE BUILDER WILL ACCEPT FULL LIABILITY FOR AMENDED PLANS.	19. IN CASE OF DISCREPANCIES OR CONFLICTS ON THE DRAWINGS AND SPECIFICATIONS, OR BETWEEN THE DRAWINGS AND THE EXISTING CONDITIONS, CONTACT THE DESIGNER OR OWNER BEFORE PROCEEDING WITH THE WORK.	41. APPLIANCE DIMENSIONS MAY VARY. CHECK WITH BUILDER FOR EXACT DIMENSIONS.
4. WHILE THESE DRAWINGS ARE INTENDED TO SHOW SAME, THE DESIGNER IS NOT RESPONSIBLE FOR COVERING AUTHORITY INTERPRETATIONS WHERE THOSE INTERPRETATIONS CONFLICT WITH THESE DRAWINGS &/OR SPECS.	20. ALL WINDOWS WITHIN 24" OF AN EXTERIOR OR INTERIOR DOOR TO BE TEMPERED GLASS. WINDOW MANUFACTURER TO VERIFY FOR ALL TEMPERED GLASS LOCATIONS AS PER APPLICABLE CODE.	42. PROVIDE VENT HOLES AS REQUIRED FOR AIR CIRCULATION OF IN-CABINET COMPUTER EQUIPMENT.
5. DESIGNER ASSUMES NO RESPONSIBILITY FOR ANY ERRORS OR NEGLIGENCE MADE BY ROOFING CONTRACTOR, CONCERNING FLASHING & WATER PROOFING ON THIS PROJECT.	21. WINDOW MANUFACTURER & BUILDER TO VERIFY EGRESSABLE WINDOWS INSTALLED WHERE REQUIRED BY CODE.	43. TOP & SPLASH MATERIAL AT ALL CABINETS TO BE AS PER SPECS.
6. THESE DRAWINGS/SPECS ARE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER. WHETHER THE PROJECT IS EXECUTED OR NOT, THESE DRAWINGS SHALL NOT BE USED BY THE CLIENT FOR OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS WITHOUT PERMISSION OF THIS DESIGNER.	22. PROVIDE BLOCKING FOR CEILING FANS WHERE SPECIFIED.	44. CROWN MOLDING, INTERIOR WINDOW/DOOR TRIM, BASEBOARD & TILE SHOWN TO BE PER OWNER &/OR INTERIOR DESIGNER.
7. THESE DOCUMENTS DO NOT SHOW TYPICAL DETAILING &/OR WATERPROOFING.	23. PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE NECESSARY PLUMBING FOR POOL &/OR SPA. VERIFY LOCATION WITH BUILDER OR OWNER.	45. ALL WORK DONE UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT NATIONAL ELECTRICAL CODE AND LOCAL CODE REGULATIONS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON DRAWINGS.
8. THESE DOCUMENTS DO NOT SPECIFY ACTUAL PRODUCTS OR MATERIAL SELECTIONS. CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR APPROPRIATE AND PROPER DETAILING FOR AND BETWEEN ALL ACTUAL PRODUCTS/MATERIALS SELECTED WHEN INSTALLED.	24. WEATHERSTRIP ATTIC ACCESS DOOR(S).	46. ELECTRICAL SUBCONTRACTOR TO MAKE ALL NECESSARY ELEC. CONNECTIONS AND BE RESPONSIBLE FOR ALL ELECTRICAL SERVICE AT MECHANICAL ROOM. ELECTRICAL CONTRACTOR TO COORDINATE AS REQUIRED WITH MECHANICAL SUBCONTRACTOR.
9. ALL COMPONENTS, MATERIALS, ASSEMBLIES AND FINISHES TO BE CONSTRUCTED AND INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, CODE REQUIREMENTS AND REGULATED BUILDING PRACTICES.	25. CONTRACTOR TO PROVIDE A 3/4" PLYWOOD CATWALK FROM ATTIC ACCESS TO HVAC UNITS (IF APPLICABLE). UNITS TO BE LOCATED WITHIN 20'-0" OF ACCESS.	47. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTION AND APPROVAL OF WIRING, INSTALLATION OF FIXTURES AND EQUIPMENT, AND FOR FINAL ACCEPTANCE OF THE COMPLETE ELECTRICAL INSTALLATIONS BY THE UNDERWRITERS AND BY LOCAL ELECTRICAL INSPECTORS.
10. DESIGNER IS NOT RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION WHICH ARE NOT DETAILED IN THESE CONSTRUCTION DOCUMENTS. CONTRACTOR WILL BE RESPONSIBLE FOR ALL ASPECTS OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO ALL WATER AND DRAIN PROTECTING, ELEC CONNECTIONS AND MECHANIC, ELECTRICAL AND PLUMBING SYSTEMS.	26. PROVIDE CONTROL AND EXPANSION JOINTS AS REQUIRED ON CONCRETE DRIVES, WALLS AND STUCCO WALLS.	48. COORDINATE WITH CONSTRUCTION SPECIFICATIONS FOR ANY APPLICABLE ALLOWANCES FOR ELECTRICAL.
11. ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. IN ADDITION TO ALL WARRANTIES THAT ARE STANDARD TO THE INDUSTRY, CONTRACTOR TO PROVIDE SUPPLY AND INSTALL ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS CALLED FOR.	27. PROVIDE WEATHERSEAL AND A 9 1/2" MASONRY DOOR SILL AT ALL EXTERIOR DOOR THRESHOLDS.	49. PREWIRE FOR SECURITY SYSTEM PER OWNERS REQUEST.
12. THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR IS RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.	28. ALL WALLS OVER 10'-0" IN HEIGHT TO BE FRAMED WITH 2x6 STUDS, IF WALLS OVER 10'-0" IN HEIGHT ARE NOT BUILT WITH 2x6 STUDS THEY MUST BE BUILT WITH DOUBLE 2x4 STUDS AT 12" O.C.	50. SUPPLY 200V & 110V OR GAS & 110V TO HVAC UNIT(S) IN ATTIC. (REFER TO SPECS). PROVIDE POWER AS REQ'D AT AT/C COMPRESSOR UNITS.
13. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS TO THE DESIGNER PRIOR TO COMMENCING WORK AND/OR ORDERING MATERIALS. MINOR DEVIATIONS, SUBJECT TO CONSTRUCTION REQUIREMENTS AND FIELD CONDITIONS, CAN BE EXPECTED.	29. THE DROP FROM INTERIOR FINISH FLOOR TO ANY EXTERIOR FINISH FLOOR IS TO BE A MINIMUM OF 1'-2". CONTRACTOR TO VERIFY MATERIALS USED FOR DECK CONSTRUCTION AND FINISH FLOORING TO MAINTAIN MINIMUM DROP.	51. PROVIDE FOR LIGHT NEAR HVAC UNIT(S) IN ATTIC.
14. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSION NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER.	30. PROVIDE BLOCKING FOR HANDRAIL MOUNTING AT STAIRS AS NECESSARY.	52. PROVIDE ELECTRIC FOR POOL &/OR SPA EQUIP. & LIGHTS. PROVIDE ELECTRIC AND SWITCHING FOR LANDSCAPE LIGHTING, FOUNTAINS, ETC. VERIFY LOCATION WITH BUILDER OR OWNER.
15. ALL DIMENSIONS SHOWN ON PLAN ARE TO THE STRUCTURAL FACE OF WALL AND DO NOT INCLUDE WALL FINISHES OR FURRING.	31. ALL FIREPLACES TO HAVE 20" DEEP HEARTH& 12" NON-COMBUSTIBLE SURROUND.	53. SMOKE DETECTORS SHOULD BE LOCATED IN EACH BEDROOM AND AS SHOWN. ALL SMOKE DETECTORS SHALL BE HARD WIRED TO PRIMARY ELECTRICAL SERVICES WITH BATTERY BACKUP.
16. THE CONTRACTOR SHALL GIVE NOTICE TO ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR PERSONS IN CHARGE OF UTILITIES AFFECTED BY HIS OPERATIONS PRIOR TO COMMENCING WORK.	32. ALL OVERHANGS TO BE 18" FROM THE FRAMEWALL UNLESS NOTED OTHERWISE.	54. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL BUILDING CODES.
	33. U.N.O. ALL INTERIOR WALLS OF ONE STORY PLANS TO BE LOAD BEARING.	55. ALL DIMENSIONS SHOWN ON FLOOR PLAN ARE FROM FACE OF STUDS AND/ OR STONE VENEER UNLESS OTHERWISE NOTED.
	34. ALL EXTERIOR OPENINGS TO BE LOAD BEARING.	56. CONTRACTOR SHALL NOTIFY DESIGNER UPON DISCOVERY OF ANY ERRORS OR DISCREPANCY OF DIMENSIONS, CLEARANCES, OR OTHER ITEMS AS SHOWN OR NOTED IN THESE DRAWINGS.
	35. WHEN ENGINEERED TRUSSES TO BE USED TRUSS DESIGN & SPACING TO BE PER ENGINEER'S SPECIFICATIONS.	57. COORDINATE ALL WINDOW SIZES AND LOCATIONS AS NOTED ON FLOOR PLAN WITH SELECTED ELEVATION OPTIONS.
	36. THE DESIGN & SIZING OF ALL LOAD BEARING HEADERS, STRUCTURAL BEAMS AND TRUSSES IS THE RESPONSIBILITY OF THE AGENT (ENGINEER/TRUSS MANUFACTURER, ETC.) CHOSEN BY THE BUILDER/OWNER TO DO SAID DESIGN.	58. HVAC SYSTEM SHALL BE DESIGNED BY MECHANICAL SUB-CONTRACTOR AND APPROVED BY DESIGNER OR GENERAL CONTRACTOR. SYSTEM SHALL HAVE A SEER E RATING OF 14 OR AS REQUIRED BY LOCAL BUILDING CODES. UNITS SHALL BE DESIGNED WITH TWO ZONES AS DIRECTED BY CONTRACTOR. PROVIDE ALL SUCTION LINES FROM UNITS TO EXTERIOR CONDENSOR UNITS AS INDICATED ON SITE PLAN. PROVIDE 4" THICK CONCRETE PADS WITH 6X6 TO 8X8 W/WR REINFORCING. LOCATE AIR HANDLING UNITS IN ATTIC SPACE NEAR RETURN AIR CHASES AS INDICATED ON THE FLOOR PLAN.
	37. ALL PLUMBING, APPLIANCE AND GAS VENTS TO BE GANGED TO THE FEWEST NUMBER POSSIBLE PENETRATING THE ROOF AND KEPT TO REAR OF ROOF WHEREVER POSSIBLE.	
	38. CHIMNEY/FLUE SHOWN AT MINIMUM DIMENSIONAL HEIGHT REQUIREMENTS PER CODE. BUILDER RESPONSIBLE FOR CONSTRUCTING CHIMNEY/FLUE TO ENSURE PROPER DRAW FOR (REPLACE BASED ON HOUSE & SITE ORIENTATION VERSUS PREVAILING WINDS).	

REVISION TABLE		
NO.	REVISION OBSERVATIONS	DATE
1	PERMIT SET	08.03.2022
2	REVISED PERMIT SET	09.19.2022
3	REVISED PERMIT SET	10.24.2022
4		
5		
6		
7		
8		
9		

AREA TABULATION	
FLOOR PLAN	1,524
TOTAL AIR CONDITIONED SPACE	1,524
PORCH	125
STORAGE	52
PATIO	300
TOTAL COVERED SPACE	2,001
TOTAL COVERED AREA	2,001

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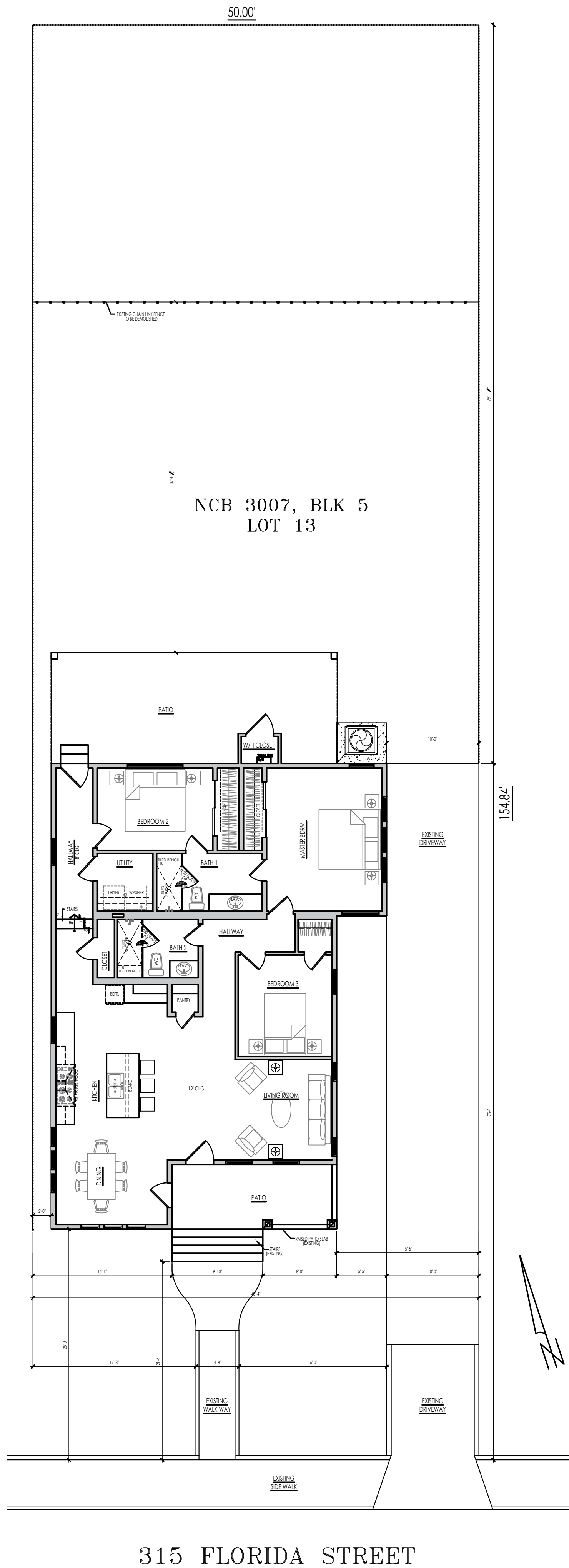
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INDEX SHEET	
PROJECT NO:	VELA-DEL FIERRO 2021-OFDS
EXPIRATION DATE:	08/2023
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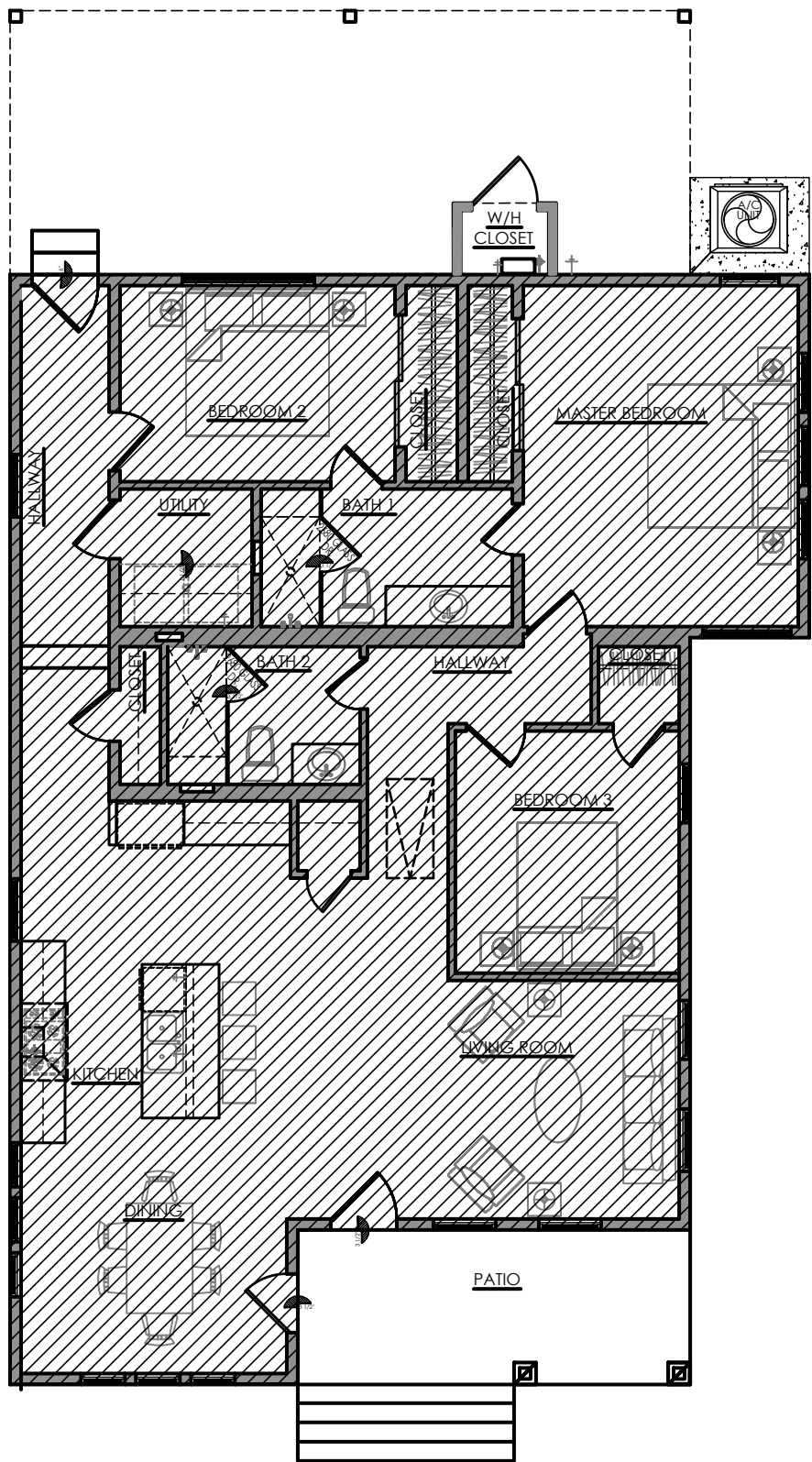
A-2
SHEET: 2 OF 10
PERMIT SET



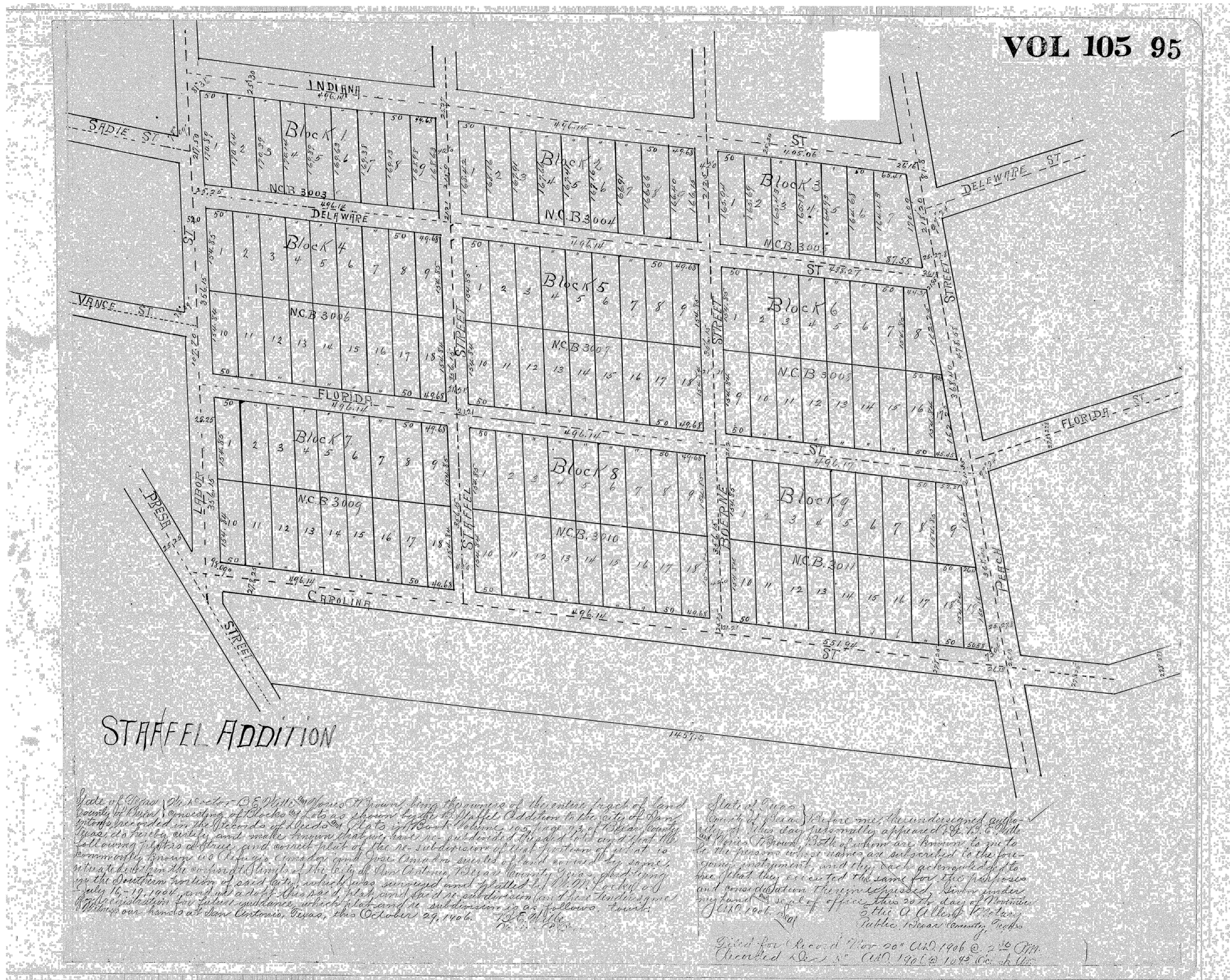
OVERALL - MAIN FLOOR PLAN
SCALE:1/8"=1'-0"

SITE PLAN
SCALE:1/8"=1'-0"

NOTE:
REFER TO STRUCTURAL ENGINEER'S PLANS FOR ALL BEAM & POSTS SIZES, LOCATION/SPECIFICATIONS, AND FOR ALL RETAINING WALLS/DETAILS AND FOUNDATION BEAM DRAWINGS.



THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH SECTION R402.4.1.1 AND R402.4.1.2. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENT EXPANSION AND CONTRACTION. THE COMPONENT OF THE BUILDING THERMAL ENVELOPE SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. REFER TO SHEET A4 FOR DETAILS.



PLAT
SCALE: N.T.S

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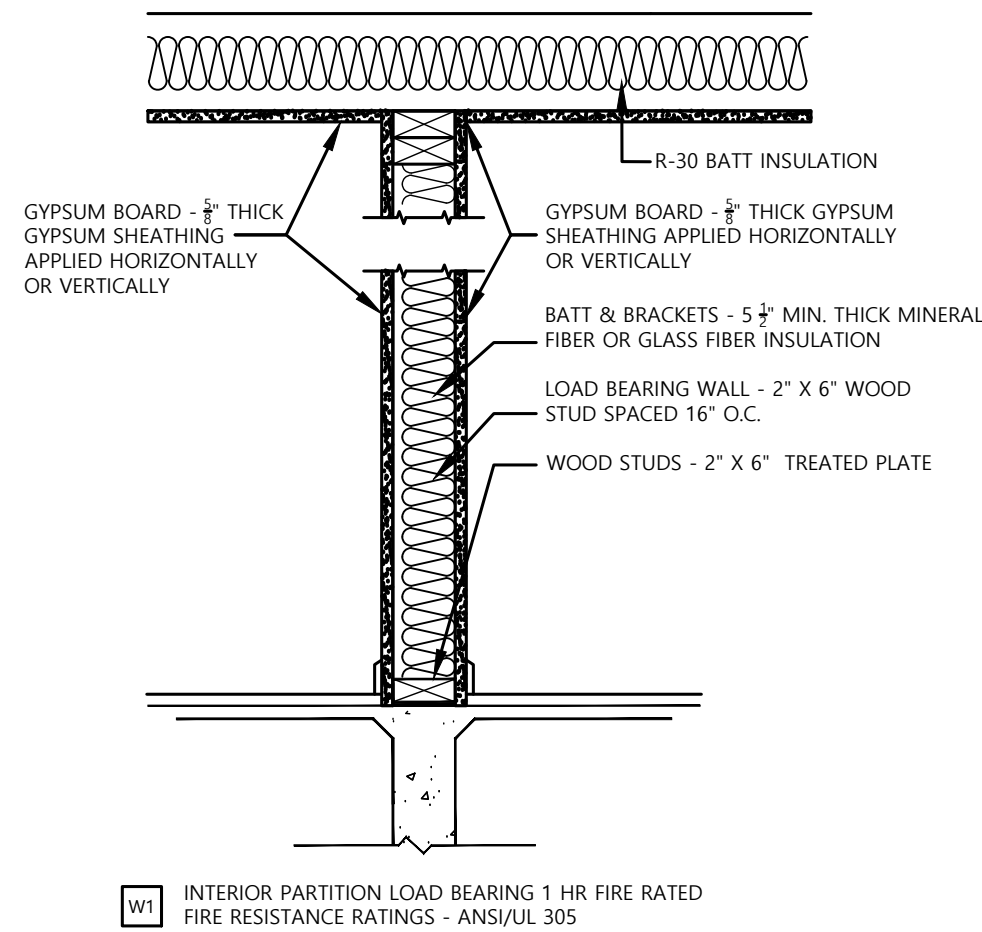
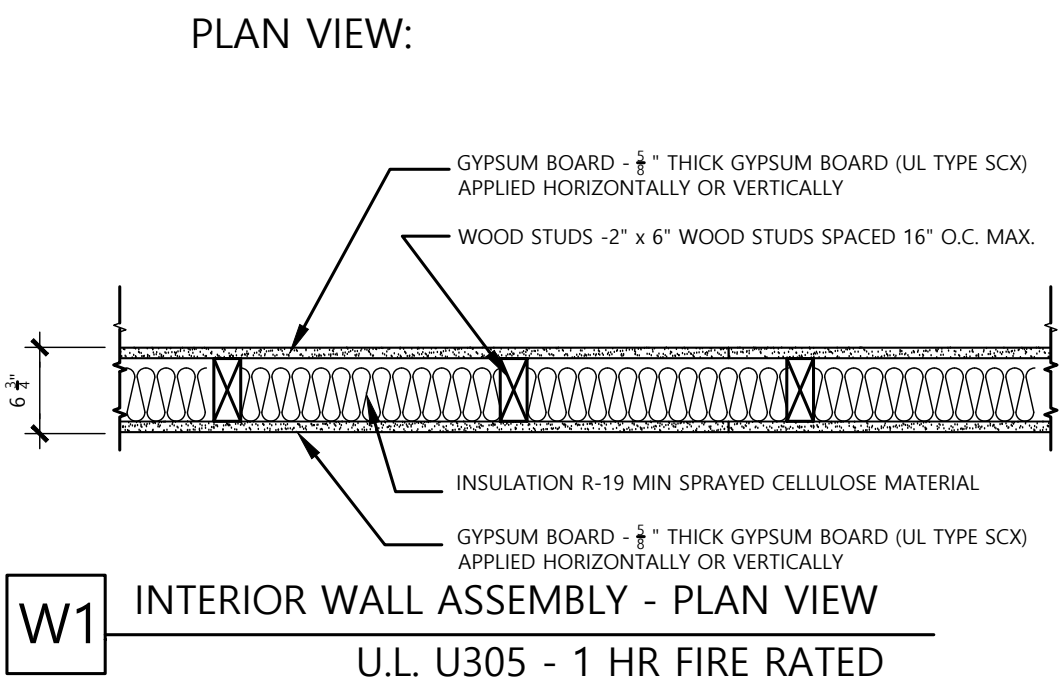
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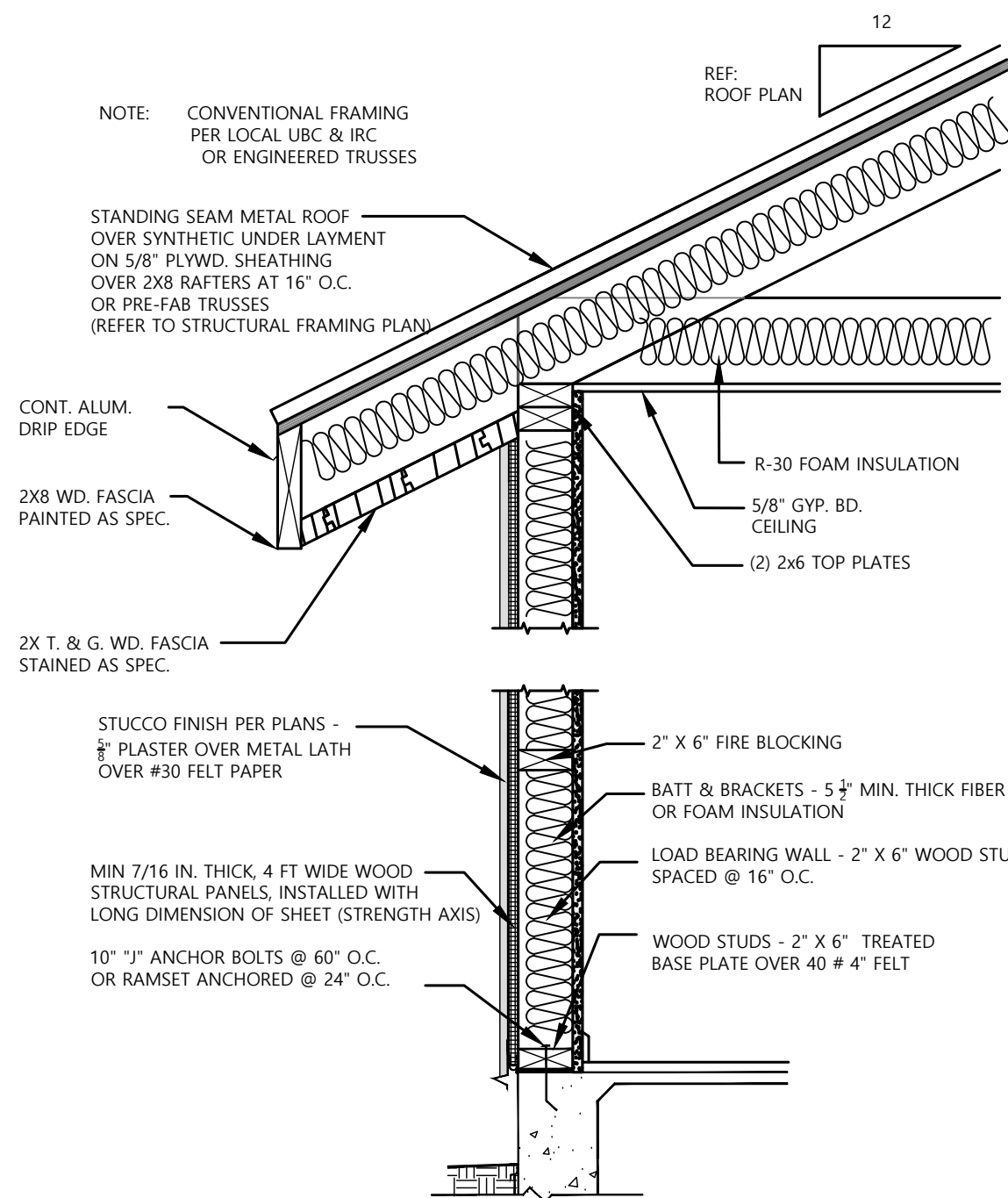
SITE PLAN/
OVERALL FLOOR PLAN

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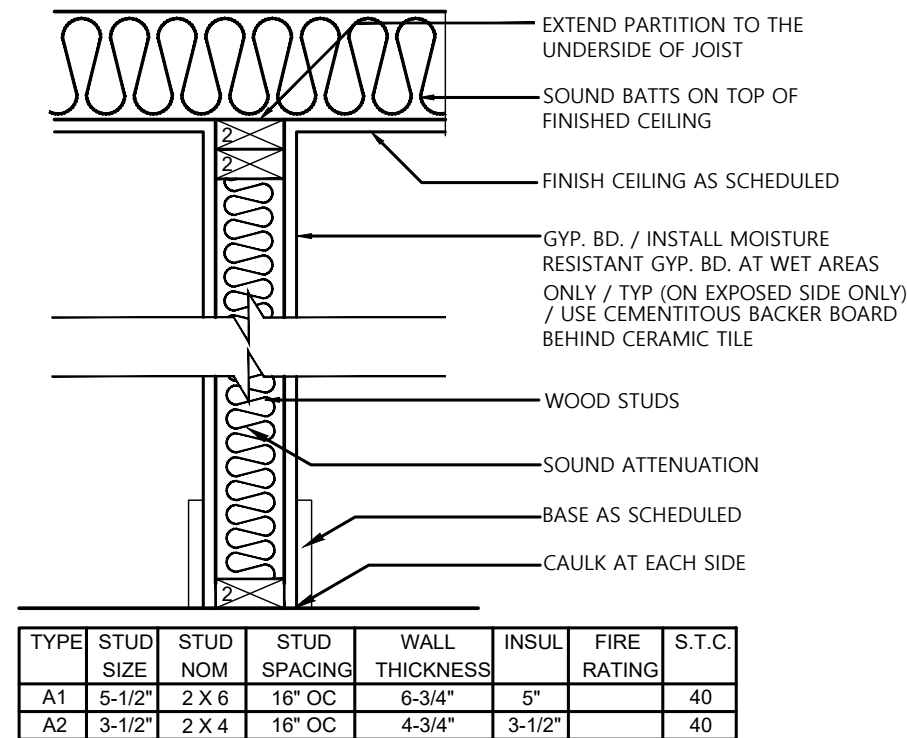
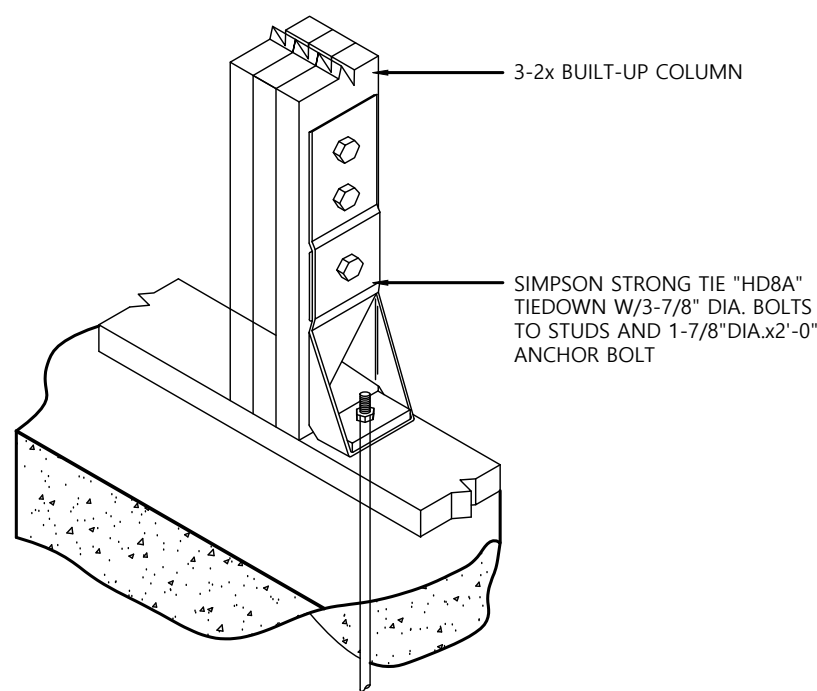
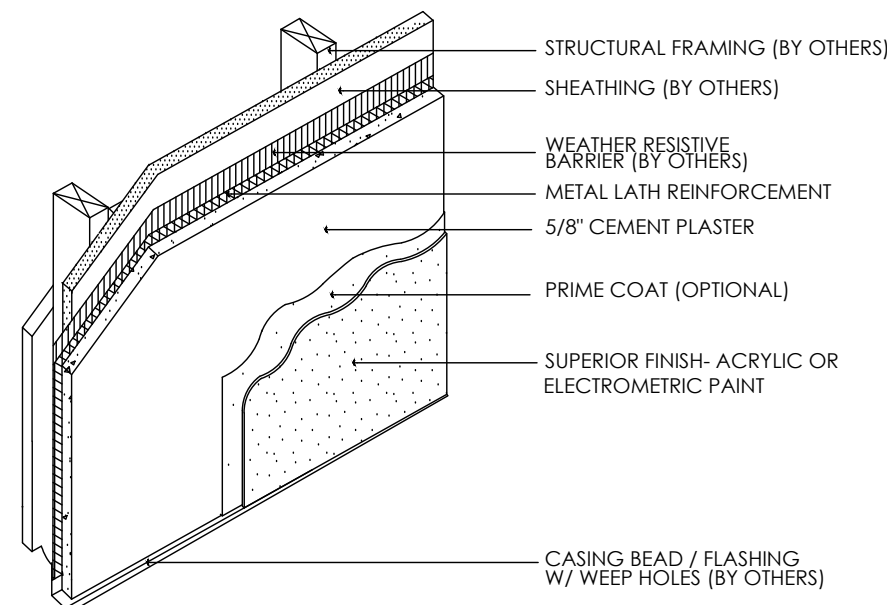
A-3
SHEET: 3 OF 10
PERMIT SET



1 INTERIOR WALL ASSEMBLY - SECTION
U.L. U305 - 1 HR FIRE RATED



NOTE: REFER TO STRUCTURAL DRAWINGS AND DETAILS. VERIFY W/ ROOF COMPANY & PRODUCT SPECIFICATIONS.



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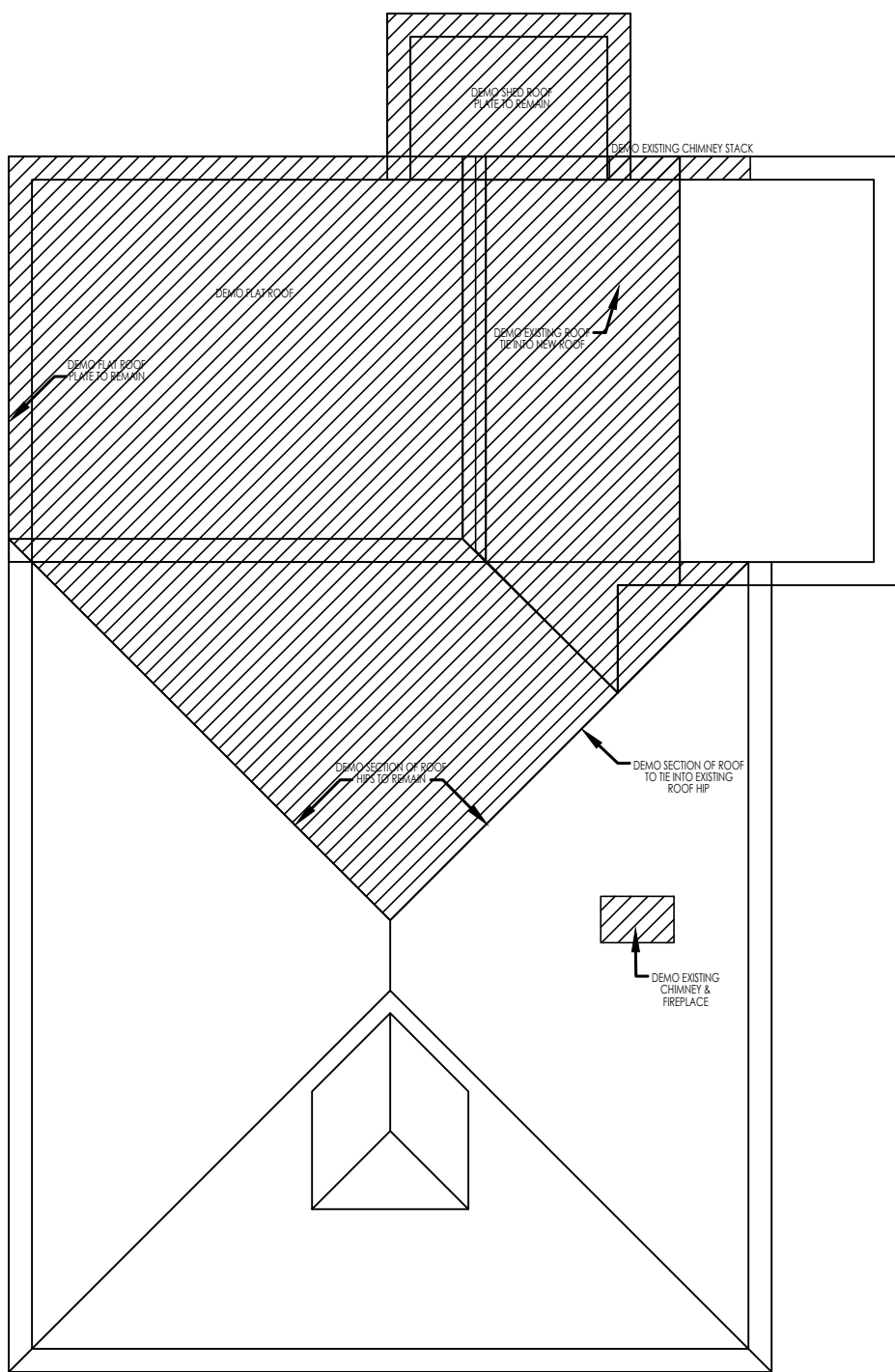
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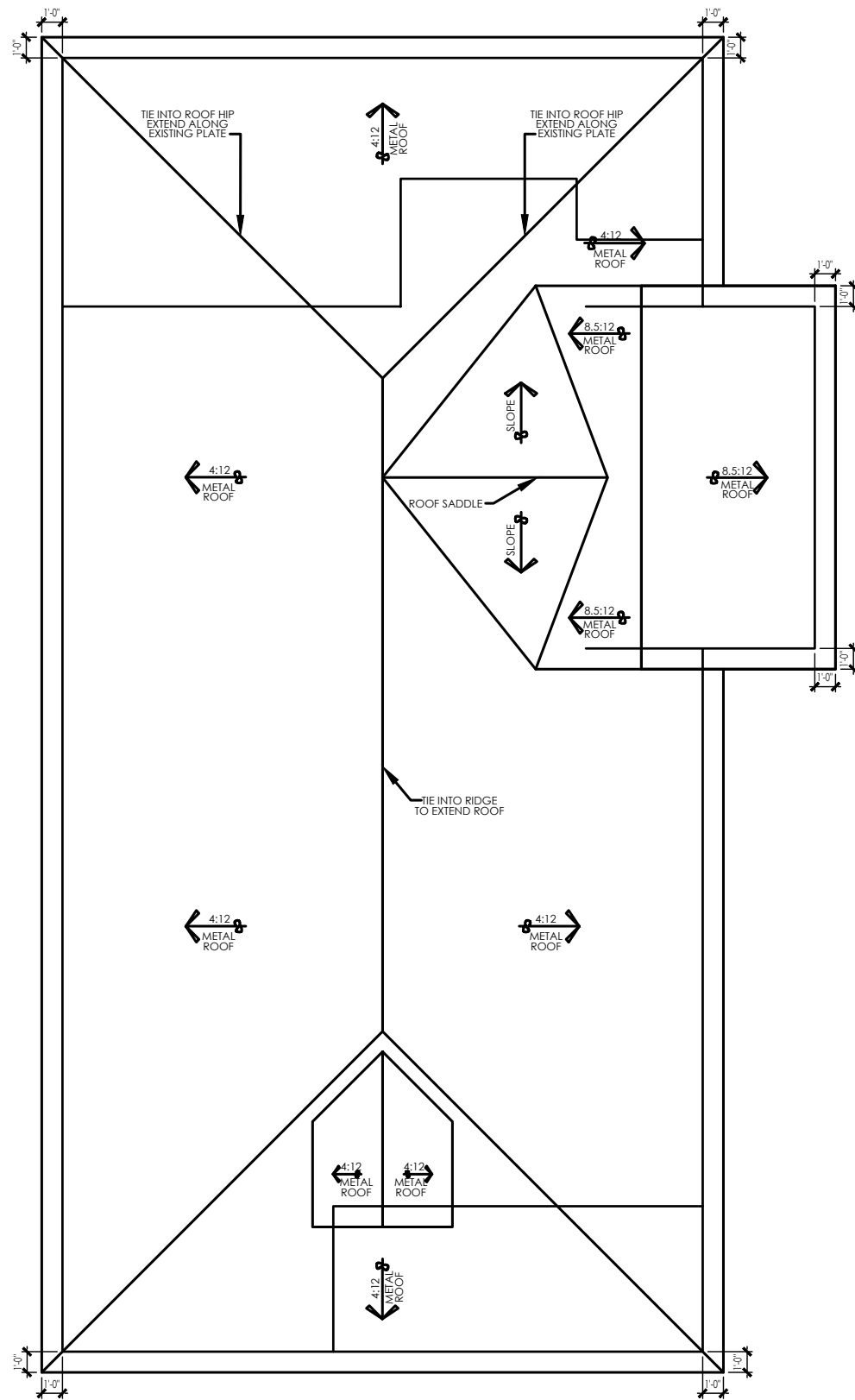
DETAILS	
PROJECT NO:	VELA-DEL FIERRO 2021-OFDS
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A-4
SHEET: 4 OF 10
PERMIT SET



EXISTING ROOF/ DEMO PLAN

SCALE:1/8"=1'-0"



ROOF PLAN - MAIN HOUSE

SCALE:1/8"=1'-0"

NOTE:
ALLOW FOR GUTTERS
IF REQUIRED BY CLIENT
REV. W/ BUILDER

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TO ANY DEFICIENCIES, ERRORS OR OMISSIONS THE DESIGNER
ASSUMES NO RESPONSIBILITIES FOR DAMAGES, INCLUDING
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AND OTHER CONDITIONS WE CANNOT MAKE ANY LOCAL
BUILDING CODES & REQUIREMENTS, BUILDING PRACTICES AND
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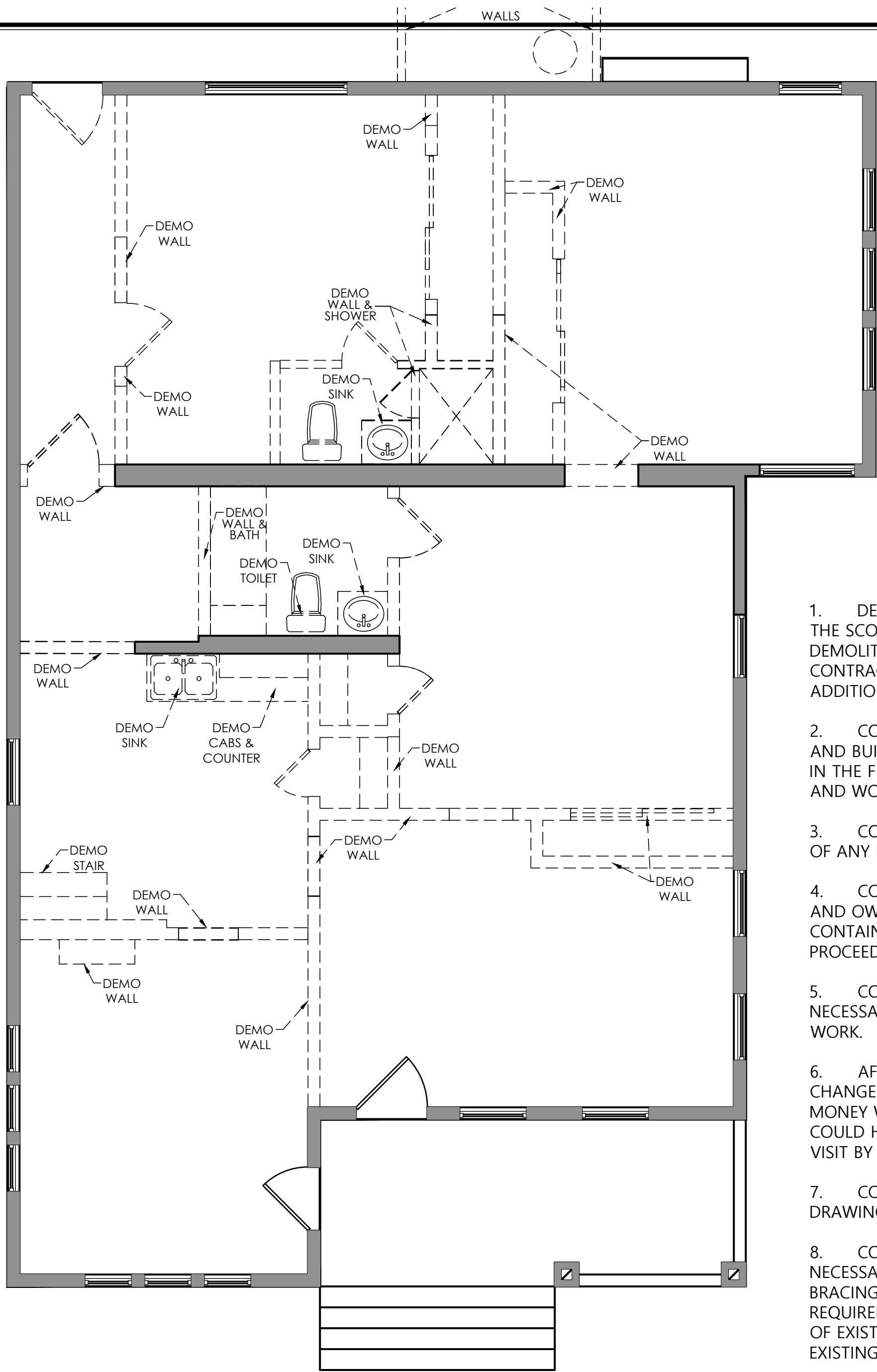
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ROOF PLAN
DEMOLITION/
& PROPOSED

PROJECT NO: VELA-DEL FIERRO 2021-OFDS
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SHEET: 5 OF 10

PERMIT SET



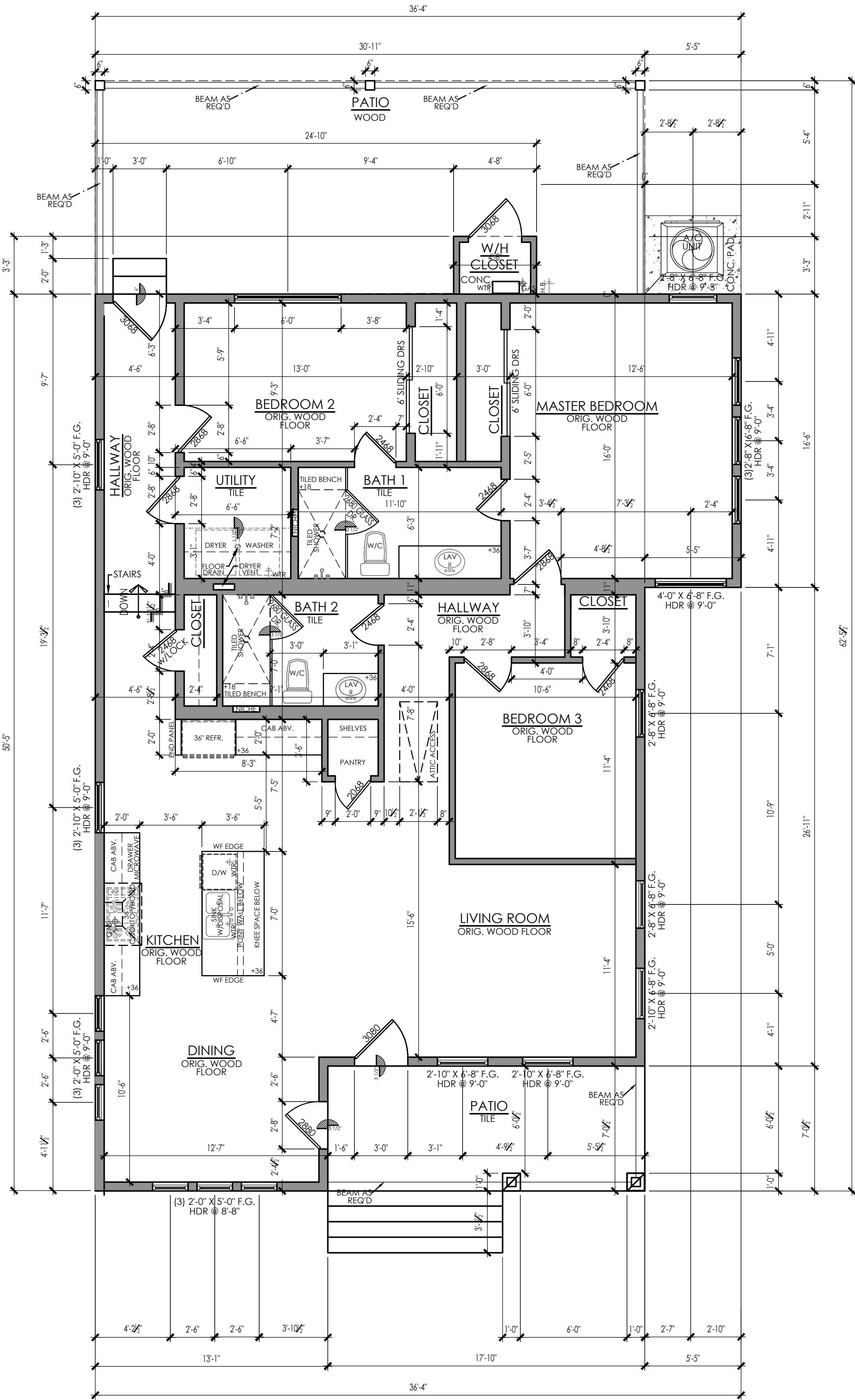
DEMOLITION PLAN

SCALE:1/4"=1'-0"

- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND OR EXISTING BUILDING ELEMENTS TO REMAIN.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR SHALL REPAIR, REPLACE, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPLACED OR EQUIVALENTLY REPAIRED AT NO COST TO THE OWNER.

- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVICING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF ROOTS, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SOCPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- ALL DASHED LINES ARE DEMOLITION LINES UNLESS OTHERWISE NOTED

NOTE:
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FLOOR PLAN - MAIN HOUSE

SCALE:1/4"=1'-0"

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VELA - DEL FIERRO RESIDENCE

315 FLORIDA STREET
SAN ANTONIO, TEXAS 78210

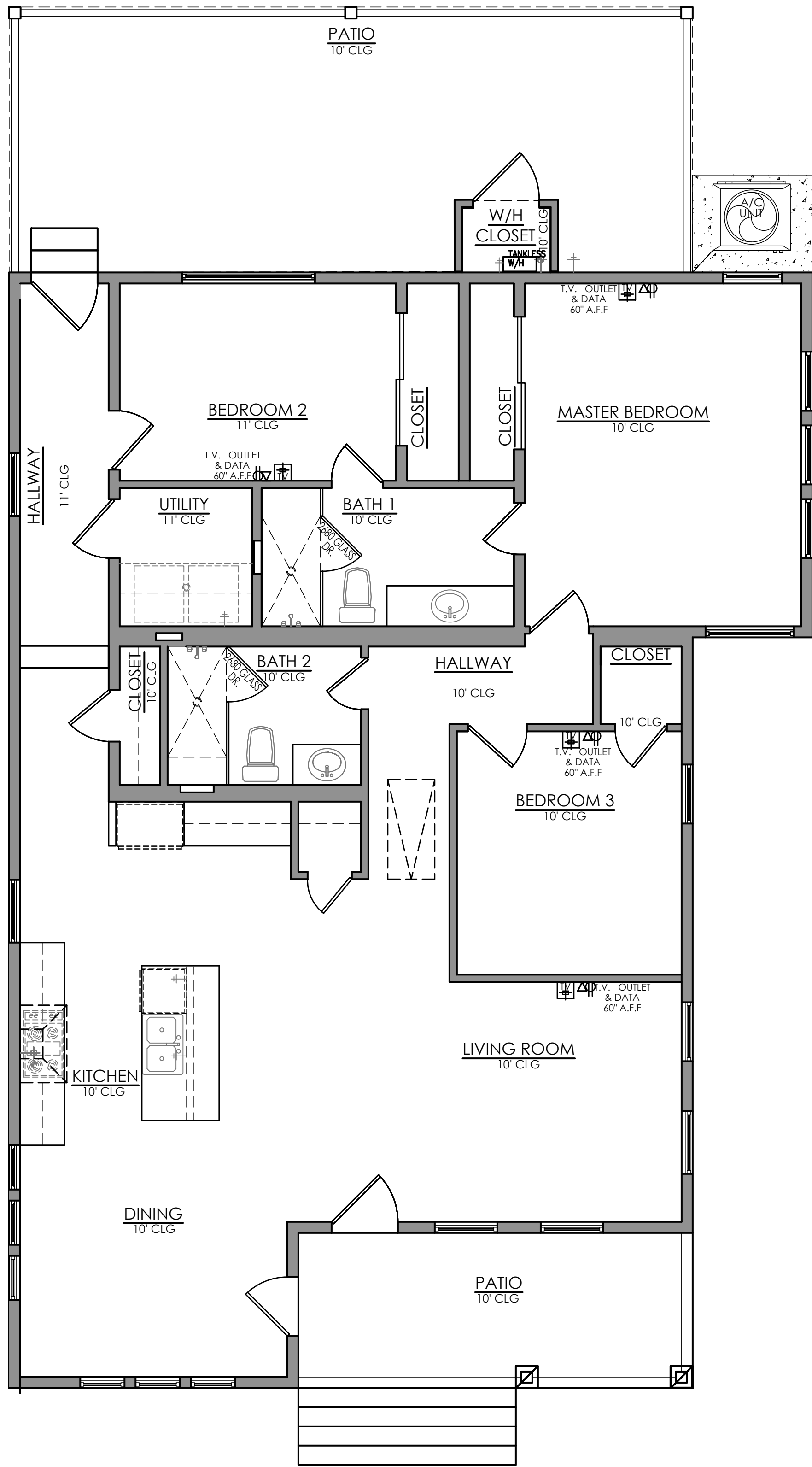
FLOOR PLAN
DEMOLITION/
PROPOSED FLOOR PLAN

PROJECT NO: VELA-DEL FIERRO 2021-OFDS
EXPIRATION DATE: 08/2023
DRAWN/ CHECKED BY: NC/OF

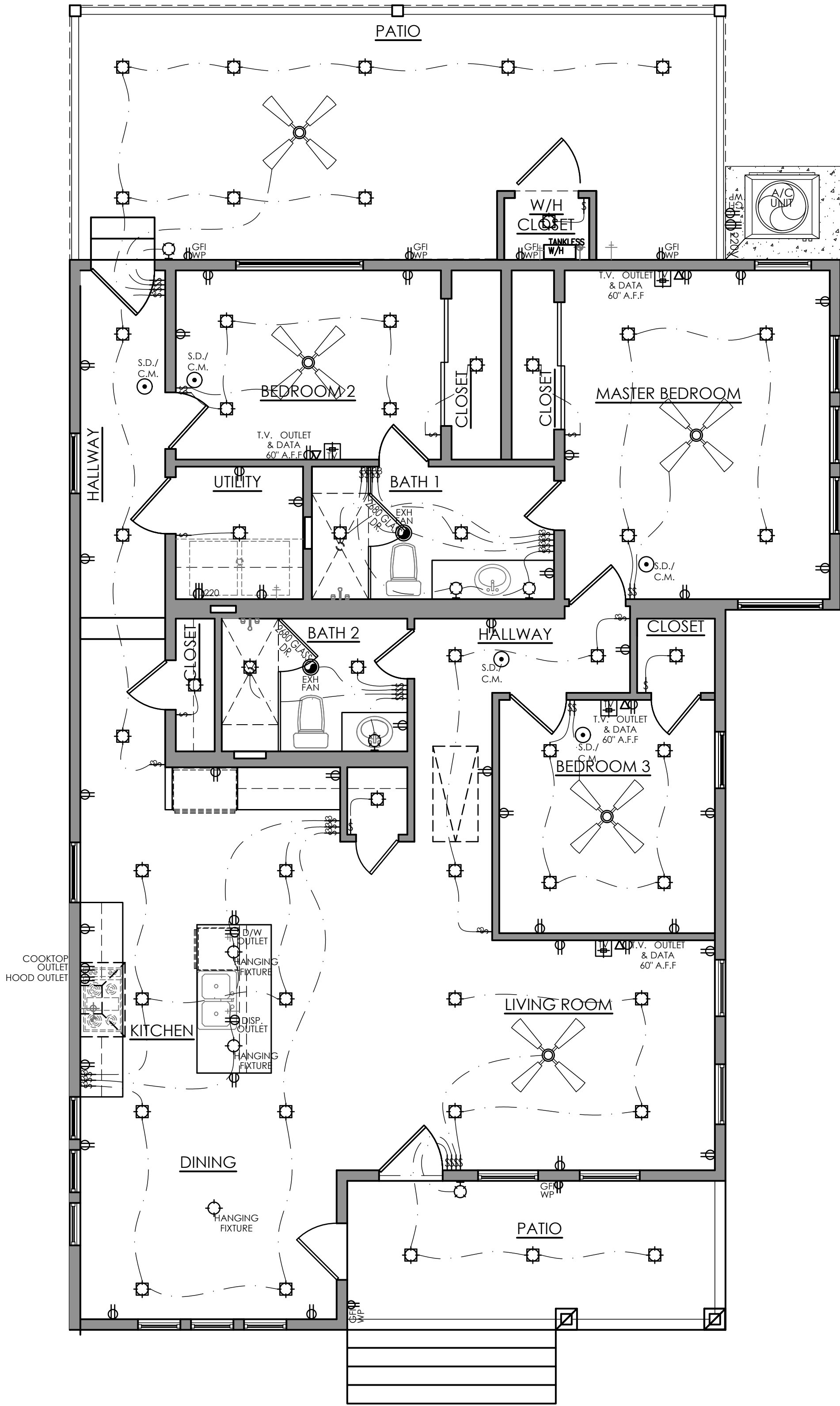
A-6

SHEET: 6 OF 10

PERMIT SET



CEILING TREATMENT PLAN
SCALE:1/4"=1'-0"



ELECTRICAL PLAN
SCALE:1/4"=1'-0"

NOTES:
ALLOW FOR MINI-SPLIT UNIT IF NECESSARY.
VERIFY WITH (A.C. CONTRACTOR/COMPANY).

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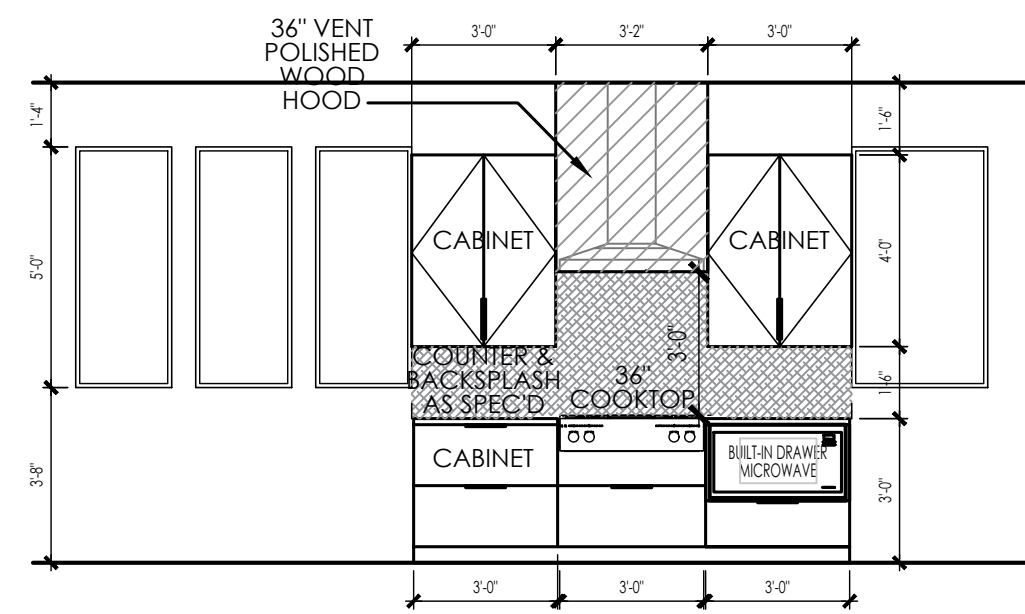
VELA - DEL FIERRO
RESIDENCE
315 FLORIDA STREET
SAN ANTONIO, TEXAS 78210

THE
W.CEILING TREATMENT PLAN/
ELECTRICAL PLAN
S.T

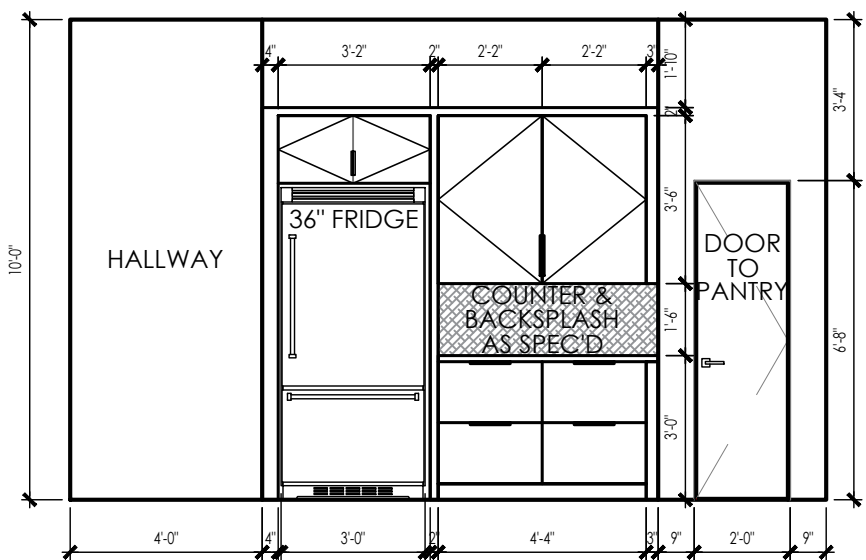
PROJECT NO:	VELA-DEL FIERRO 2021-OFDS
EXPIRATION DATE:	08/2023
DRAWN/ CHECKED BY:	NC/OF

A-7
SHEET: 7 OF 10

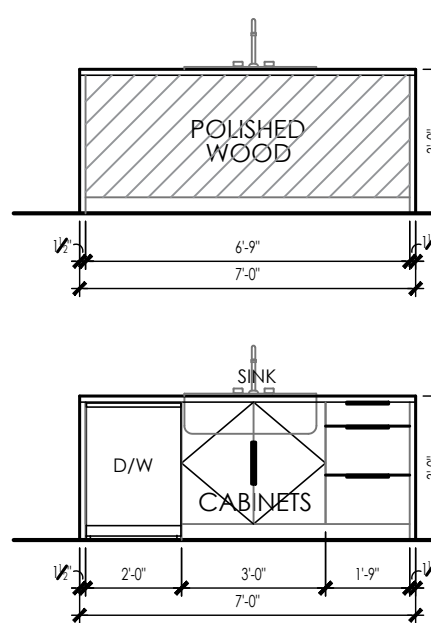
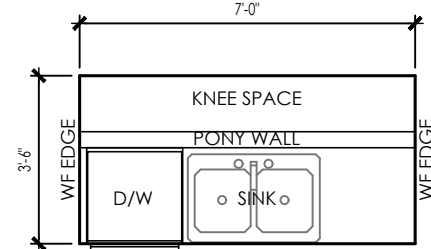
PERMIT SET



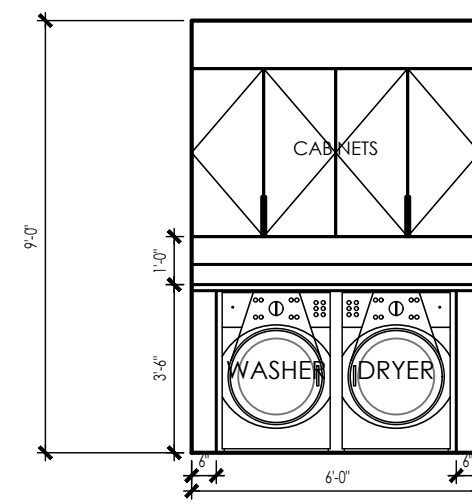
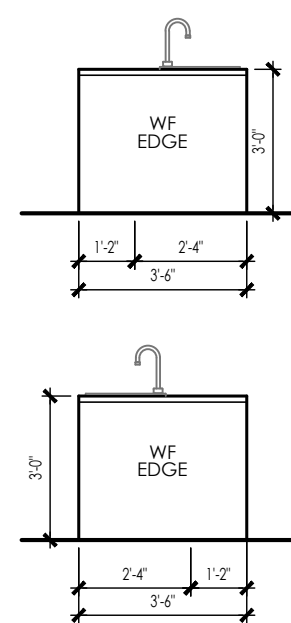
1 KITCHEN/ RANGE
SCALE: 1/4"=1'-0"



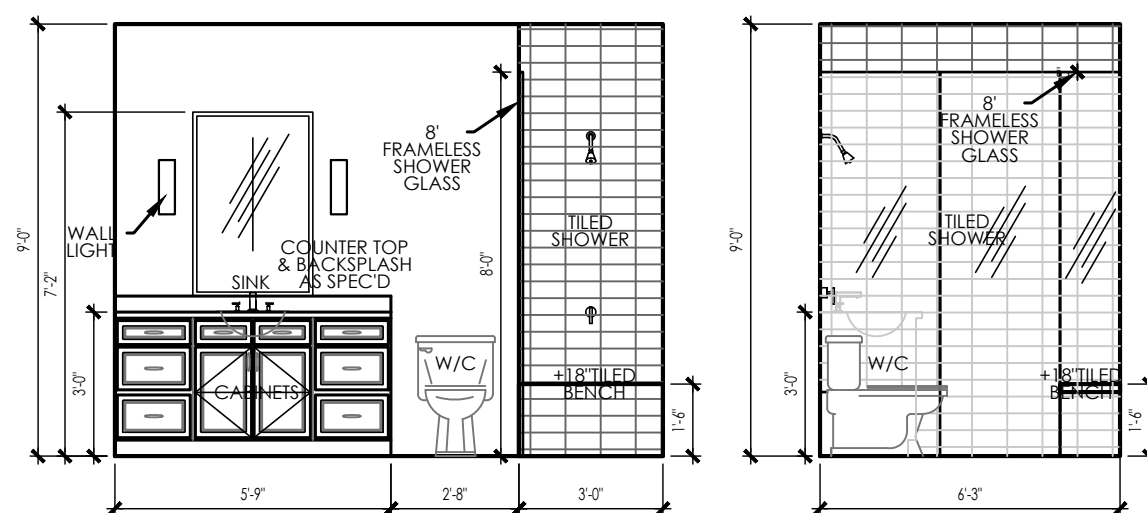
2 KITCHEN/ PANTRY
SCALE: 1/4"=1'-0"



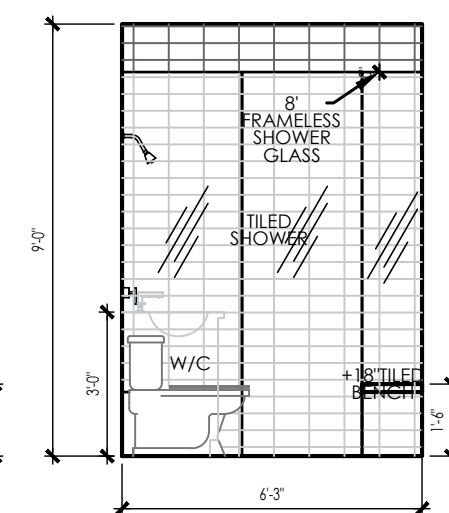
3 KITCHEN ISLAND
SCALE: 1/4"=1'-0"



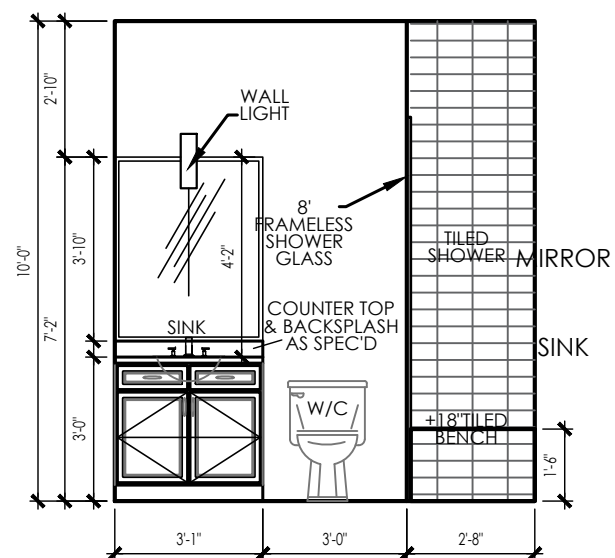
4 UTILITY ROOM
SCALE: 1/4"=1'-0"



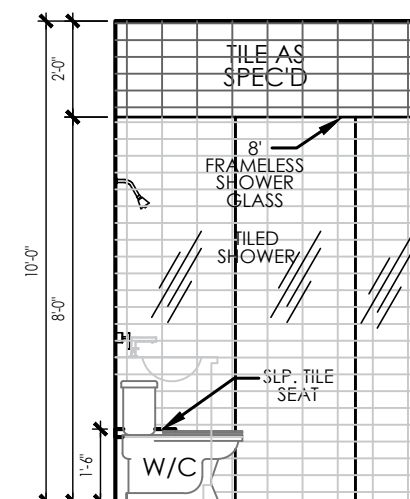
5 BATH 1
SCALE: 1/4"=1'-0"



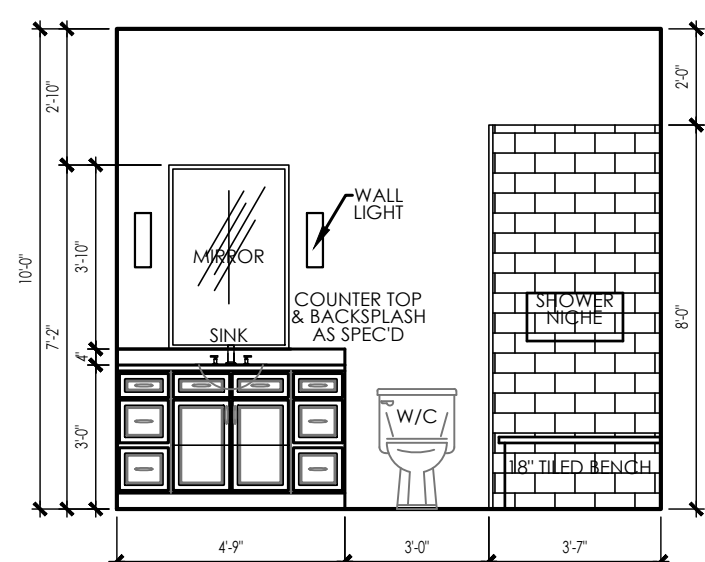
6 BATH 1
SCALE: 1/4"=1'-0"



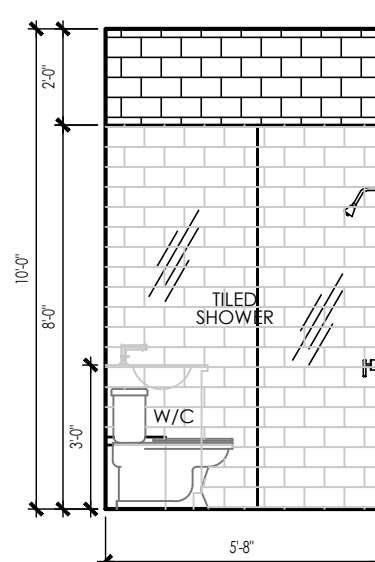
6 BATH 2
SCALE: 1/4"=1'-0"



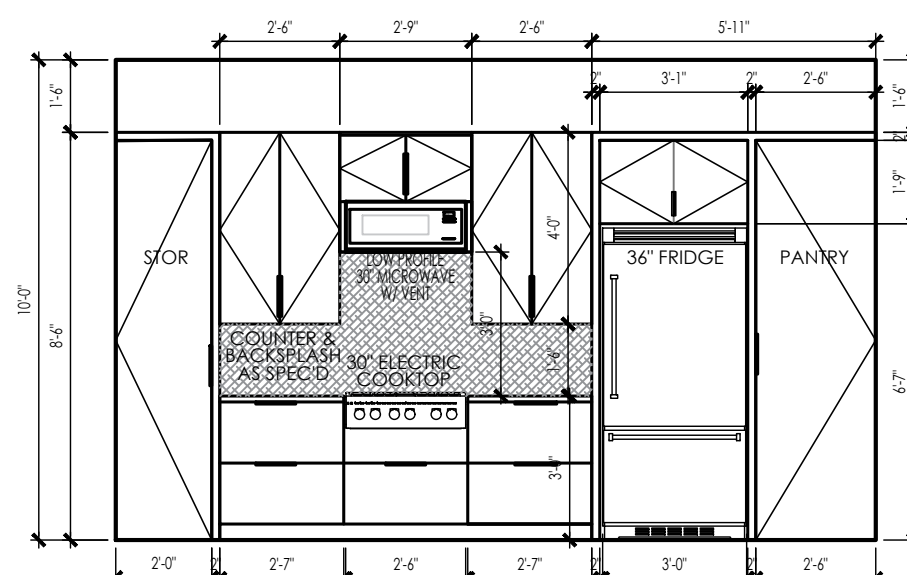
7 BATH 2
SCALE: 1/4"=1'-0"



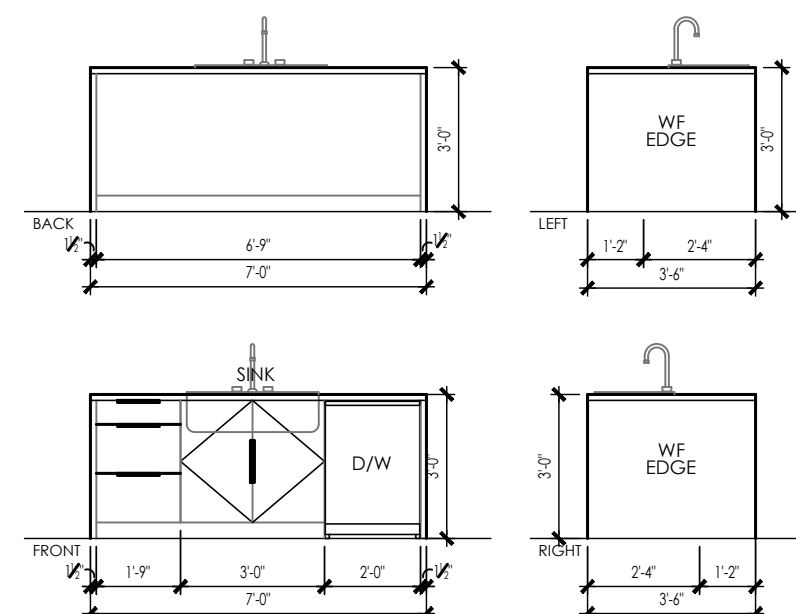
8 CASITA BATH ROOM
SCALE: 1/4"=1'-0"



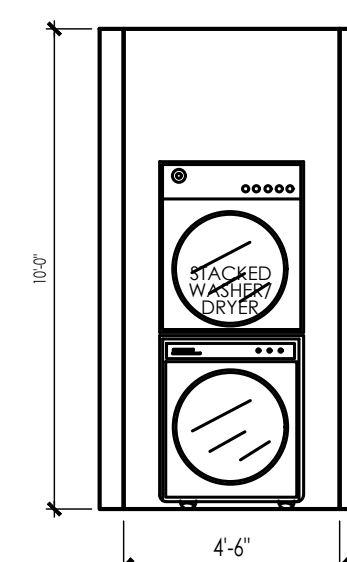
9 CASITA BATH ROOM
SCALE: 1/4"=1'-0"



10 CASITA KITCHEN
SCALE: 1/4"=1'-0"



11 CASITA KITCHEN ISLAND
SCALE: 1/4"=1'-0"



12 WASHER/DRYER
SCALE: 1/4"=1'-0"

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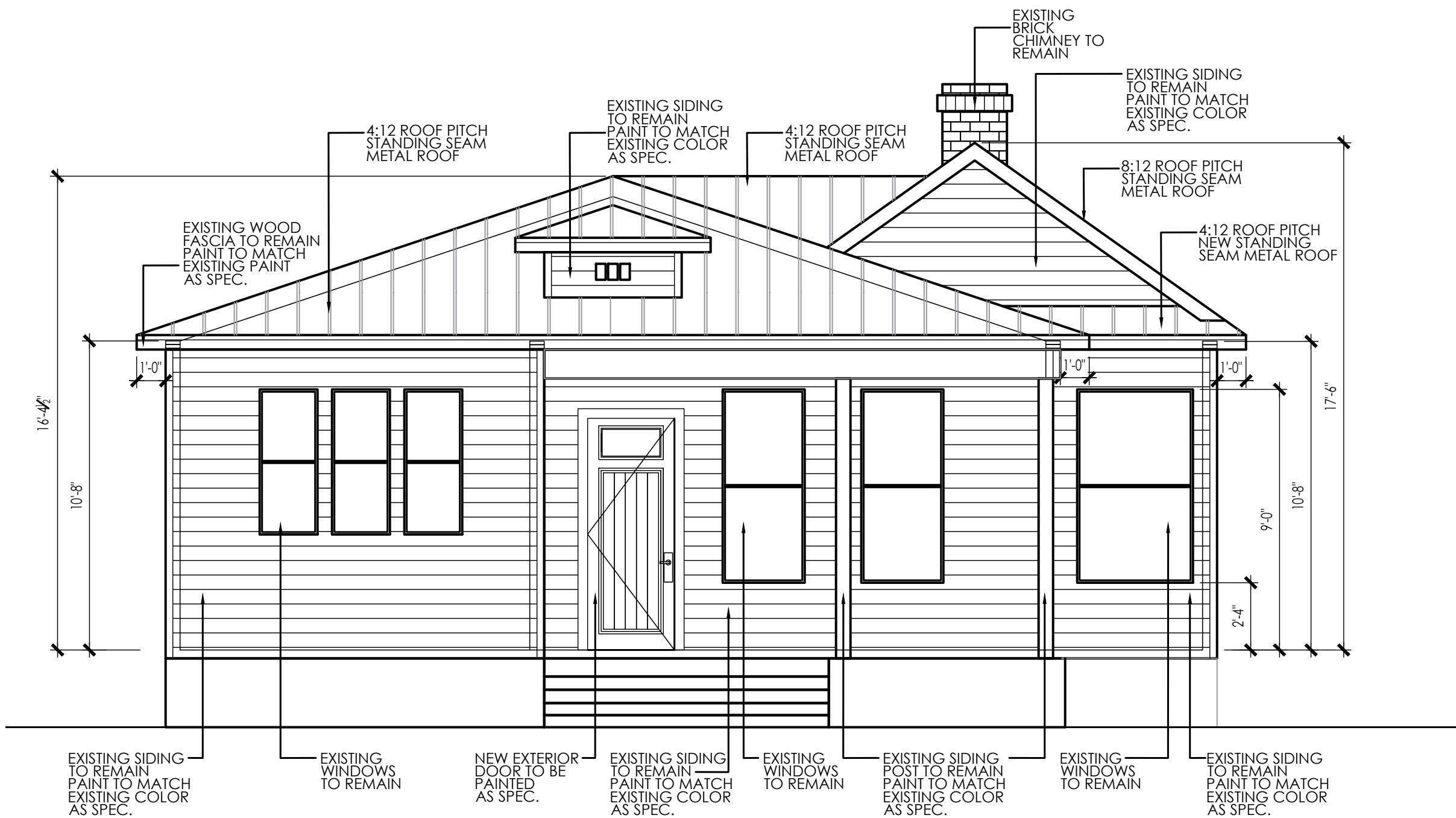
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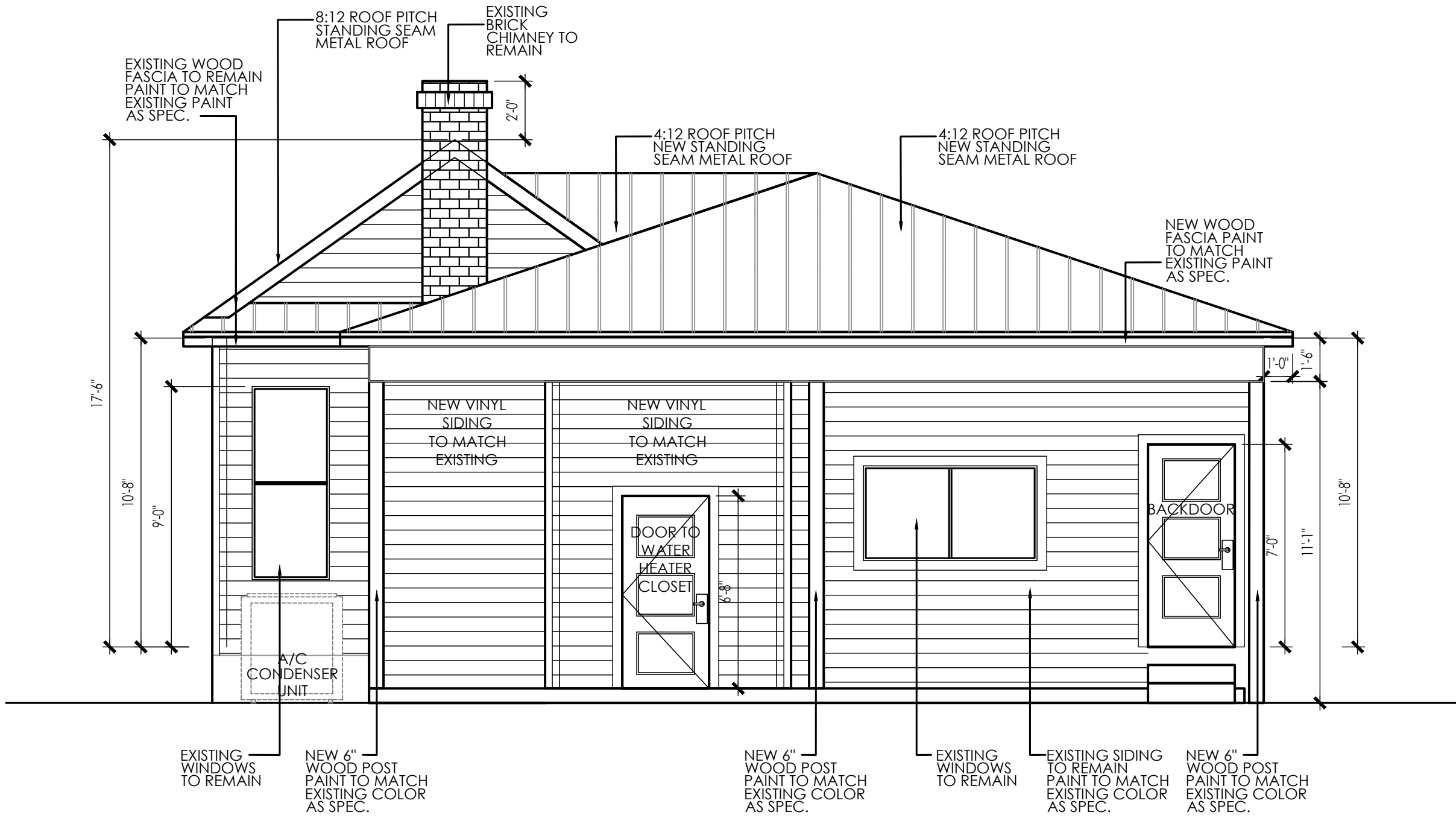
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INTERIOR
ELEVATIONS
PROJECT NO: VELA-DEL FIERRO 2021-OFDS
EXPIRATION DATE: 08/2023
DRAWN/ CHECKED BY: NC/OF

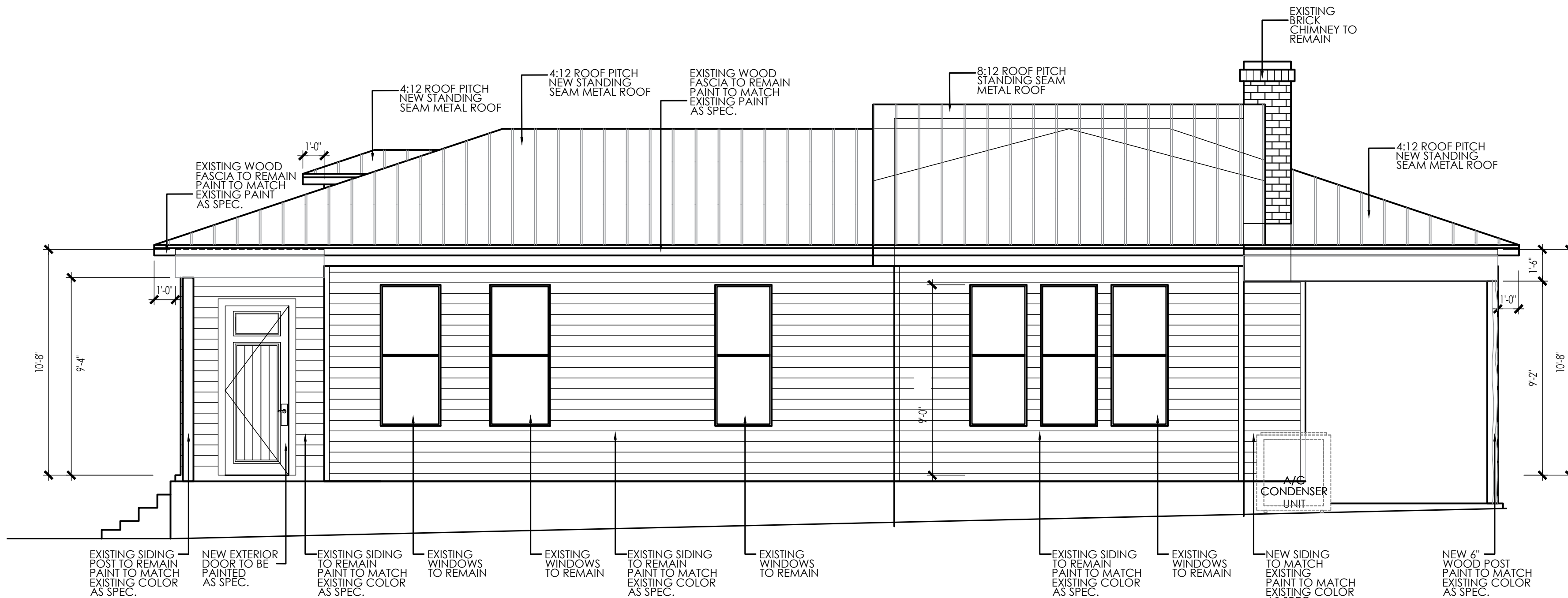
A-8
SHEET: 8 OF 10
PERMIT SET



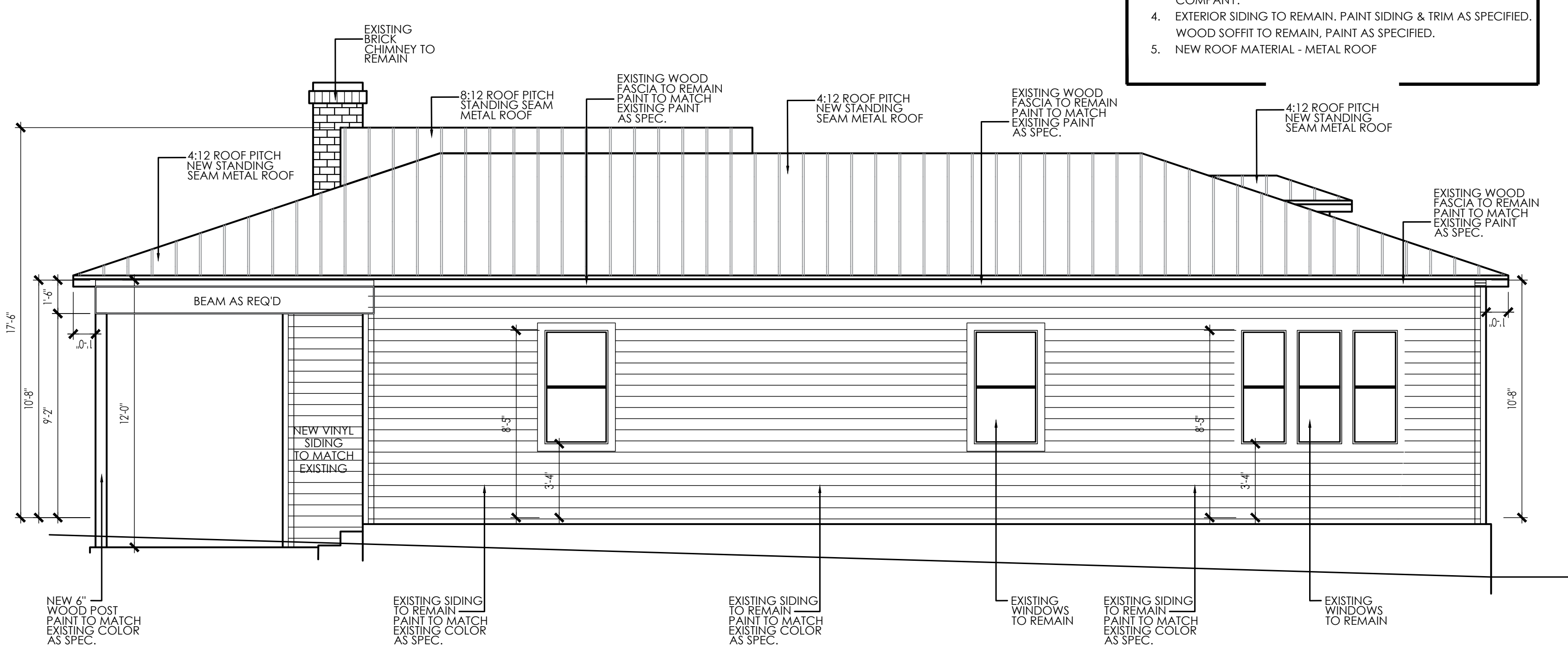
1 FRONT ELEVATION
SCALE: 1/4"=1'-0"



1 REAR ELEVATION
SCALE: 1/4"=1'-0"



1 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



1 LEFT ELEVATION
SCALE: 1/4"=1'-0"

ELEVATIONS ARE DRAWN ON FLAT LOT
NOT REPRESENTING ACTUAL GRADE. TRUE
REPRESENTATION OF GRADE TO BE
DETERMINED AT JOB SITE CONDITIONS BY
OWNER AND BUILDING CONTRACTOR.

NOTE:

1. REFER TO STRUCTURAL ENGINEER'S PLANS FOR ALL BEAM & POSTS SIZES, LOCATION/SPECIFICATIONS, AND FOR ALL RETAINING WALLS/DETAILS AND FOUNDATION BEAM DRAWINGS.
2. REFER TO LANDSCAPE DESIGN BY LANDSCAPE ARCHITECT FOR ALL FINISH GRADES, DRIVEWAYS, WALKWAYS, DRAINAGE, FLATWORK, HARDSCAPE, GRADING, TERRACES & LANDSCAPE RETAINING WALLS. BUILDER MUST VERIFY W/ OWNER & LANDSCAPE ARCHITECT.
3. BUILDER VERIFY PROPER LOCATION AND EFFECTIVE DRAINAGE OF ALL GUTTERS AND OUTLET W/ RAINCHAIN WITH ROOFING COMPANY.
4. EXTERIOR SIDING TO REMAIN. PAINT SIDING & TRIM AS SPECIFIED. WOOD SOFFIT TO REMAIN. PAINT AS SPECIFIED.
5. NEW ROOF MATERIAL - METAL ROOF

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RESIDENCE

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EXTERIOR
ELEVATIONS

PROJECT NO: VELA-DEL FIERRO 2021-OFDS
EXPIRATION DATE: 08/2023
DRAWN/CHECKED BY: NC/OF

A-9

SHEET: 9 OF 10

PERMIT SET



Generated by REScheck-Web Software

Compliance Certificate

Project VELA-DEL FIERRO RESIDENCE

Energy Code: 2021 IECC
Location: San Antonio, Texas
Construction Type: Single-family
Project Type: Addition
Climate Zone: 2 (1644 HDD)
Permit Date:
Permit Number:

Construction Site: Owner/Agent: Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: 3.6% Better Than Code Maximum UA: 247 Your UA: 238 Maximum SHGC: 0.25 Your SHGC: 0.25

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
FRONT: Wood Frame, 24" o.c.	332	0.0	15.0	0.052	0.084	11	18
Door: Solid Door (under 50% glazing)	20			1.000	0.400	20	8
Window: Wood Frame SHGC: 0.25	94			0.400	0.400	38	38
RIGHT: Wood Frame, 24" o.c.	463	0.0	15.0	0.052	0.084	19	31
Door 1: Solid Door (under 50% glazing)	20			1.000	0.400	20	8
Window 1: Wood Frame SHGC: 0.25	76			0.400	0.400	30	30
REAR: Wood Frame, 24" o.c.	372	0.0	15.0	0.052	0.084	17	27
Door 2: Solid Door (under 50% glazing)	20			1.000	0.400	20	8
Window 2: Wood Frame SHGC: 0.25	34			0.400	0.400	14	14
LEFT: Wood Frame, 24" o.c.	559	0.0	15.0	0.052	0.084	26	42
Window 3: Wood Frame SHGC: 0.25	58			0.400	0.400	23	23

Additional Efficiency Package(s)

Not applicable

Project Title: VELA-DEL FIERRO RESIDENCE Report date: 10/05/22
Data filename: Page 1 of10



Generated by REScheck-Web Software

Compliance Certificate

Project VELA-DEL FIERRO CASITA

Energy Code: 2021 IECC
Location: San Antonio, Texas
Construction Type: Single-family
Project Type: New Construction
Conditioned Floor Area: 1,940 ft2
Glazing Area: 8%
Climate Zone: 2 (1644 HDD)
Permit Date:
Permit Number:

Construction Site: Owner/Agent: Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: 15.9% Better Than Code Maximum UA: 126 Your UA: 106 Maximum SHGC: 0.25 Your SHGC: 0.25

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
FRONT: Wood Frame, 16" o.c.	289	15.0	15.0	0.034	0.084	7	17
Door: Solid Door (under 50% glazing)	21			1.000	0.400	21	8
Window: Vinyl Frame SHGC: 0.25	60			0.400	0.400	24	24
RIGHT: Wood Frame, 16" o.c.	205	15.0	15.0	0.034	0.084	7	17
REAR: Wood Frame, 16" o.c.	329	15.0	15.0	0.034	0.084	10	25
Door 1: Solid Door (under 50% glazing)	20			1.000	0.400	20	8
Window 1: Vinyl Frame SHGC: 0.25	12			0.400	0.400	5	5
LEFT: Wood Frame, 16" o.c.	213	15.0	15.0	0.034	0.084	7	17
Window 2: Vinyl Frame SHGC: 0.25	12			0.400	0.400	5	5

Additional Efficiency Package(s)

Required: 1 Proposed: 1

Description	Credits
Efficient Thermal Distribution Performance	1.0

Project Title: VELA-DEL FIERRO CASITA Report date: 10/05/22
Data filename: Page 1 of10

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RESIDENCE
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RES-CHECK
CERTIFICATES

PROJECT NO: VELA-DEL FIERRO 2021-OFDS
EXPIRATION DATE: 08/2023
DRAWN/ CHECKED BY: NC/OF

A-10
SHEET: 10 OF 10
PERMIT SET

















258

257

253

255

259



Scale of Feet.
0 50 100 150

